

January 6, 2020
Board of Adjustments Meeting
6:30 p.m.



AGENDA
City of Dickinson
**BOARD OF
ADJUSTMENTS
REGULAR MEETING**

January 6, 2020

NOTICE is hereby given of a **Regular Meeting** of the Board of Adjustments of the City of Dickinson, Texas to be held on **Monday, January 6, 2020 at 6:30 p.m.** in the Council Chambers at City Hall, 4403 Highway 3, for the purpose of considering the following numbered items. The Board of Adjustments of the City of Dickinson, Texas, reserves the right to meet in a closed session on any of the below items should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

- ITEM 1) CALL TO ORDER AND CERTIFICATION OF A QUORUM:**
Roll Call of Members
Invocation
Pledge of Allegiance
- ITEM 2) CONSIDERATION AND POSSIBLE ACTION CONCERNING:** Approval of the Minutes of the December 2, 2019 Special Meeting.
- ITEM 3) CONDUCT A PUBLIC HEARING CONCERNING:** A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.
- A. Staff's Presentation of the Variance
 - B. Applicant's Statement
 - C. Those in Favor
 - D. Those Opposed
 - E. Applicant's Rebuttal
 - F. Adjourn Public Hearing
- ITEM 4) CONSIDERATION AND POSSIBLE ACTION REGARDING:** A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.
- ITEM 5) CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1115,** A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Applicant's Statement
- C. Those in Favor
- D. Those Opposed
- E. Applicant's Rebuttal
- F. Adjourn Public Hearing

ITEM 6) CONSIDERATION AND POSSIBLE ACTION REGARDING: VAR-19-1115, A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.

ITEM 7) CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1160, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear and front setback requirements at 2504 46th Street, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Applicant's Statement
- C. Those in Favor
- D. Those Opposed
- E. Applicant's Rebuttal
- F. Adjourn Public Hearing

ITEM 8) CONSIDERATION AND POSSIBLE ACTION REGARDING: VAR-19-1160, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear and front setback requirements at 2504 46th Street, Dickinson, Texas 77539.

ITEM 9) CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1290, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear, front, and side setback requirements at 4902 East 35th Street, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Applicant's Statement
- C. Those in Favor
- D. Those Opposed
- E. Applicant's Rebuttal
- F. Adjourn Public Hearing

ITEM 10) CONSIDERATION AND POSSIBLE ACTION REGARDING: VAR-19-1290, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear, front, and side setback requirements at 4902 East 35th Street, Dickinson, Texas 77539.

ITEM 11) CONDUCT A PUBLIC HEARING CONCERNING: A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the side setback requirements at 4306 East 31st Street, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Applicant's Statement
- C. Those in Favor
- D. Those Opposed
- E. Applicant's Rebuttal
- F. Adjourn Public Hearing

ITEM 12) CONSIDERATION AND POSSIBLE ACTION REGARDING: A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the side setback requirements at 4306 East 31st Street, Dickinson, Texas 77539.

ITEM 13) EXECUTIVE SESSION: The Board of Adjustments will now hold a closed executive meeting pursuant to the provision of Chapter 551, Government Code, Vernon's Texas Codes annotated, in accordance with the authority contained in:

- A. Section 551.071 – Consultation with Attorney regarding pending litigation and matters in which the duty of the City Attorney requires to be discussed in closed meeting.

ITEM 14) RECONVENE

ITEM 15) CONSIDERATION AND POSSIBLE ACTION CONCERNING: Matters Discussed in Executive Session.

ITEM 16) ADJOURN

CERTIFICATION

This is to certify that a copy of the notice of a Regular Meeting of the Board of Adjustments for January 6, 2020, was posted on the bulletin board at City Hall, 4403 State Highway 3, Dickinson, Texas, on the 2nd day of January 2020, prior to 6:30 p.m.



Alun W. Thomas

Alun W. Thomas, City Secretary

In compliance with the Americans With Disabilities Act, we will provide for reasonable accommodations for disabled persons attending our meetings. Request should be received at least 24 hours prior to the scheduled meeting by contacting the City Secretary's office at (281) 337-6217.

Board of Adjustments

ITEM 1

**Call to Order and Certification
of a Quorum**

**CITY OF DICKINSON, TEXAS
BOARD OF ADJUSTMENTS MEETING
ATTENDANCE LIST**

MEETING DATE: January 6, 2020

BOARD MEMBERS

PRESENT

ABSENT

DAWN KING, Chairperson

TIM PHILPOT, Vice-Chairman

SHAMARION BARBER

ALLEN CARLILE

KEVIN EDMONDS

ALTERNATE MEMBERS

RONALD HEBERT

JOSEPH KELLY

ALSO IN ATTENDANCE

DAVID OLSON, City Attorney

S. R. Burgess, Interim Director of Community Dev.

Board of Adjustments

ITEM 2

Dawn King, Chairperson
Tim Philpot, Vice-Chairperson
Shamarion Barber
Allen Carlile

MINUTES
City of Dickinson
**BOARD OF
ADJUSTMENTS**
REGULAR MEETING

Kevin D. Edmonds
Ronald Hebert, Alternate
Joseph Kelly, Alternate

December 2, 2019

The Dickinson Board of Adjustments met in a duly called and announced **Regular Meeting** on **Monday, December 2, 2019, at 6:30 p.m.** The meeting was held in the City Council Chambers located at 4403 Highway 3, Dickinson, Galveston County, Texas, and was held for the purpose of considering the following items:

ITEM 1) CALL TO ORDER AND CERTIFICATION OF A QUORUM:

Roll Call of Members
Invocation
Pledge of Allegiance

Chairperson Dawn King called the meeting to order at 6:30 p.m. City Secretary Alun Thomas called roll and certified a quorum. Board of Adjustment Members present were as follows: Chairperson Dawn King, Vice-Chairperson Tim Philpot, and Board Members Shamarion Barber, Allen Carlile, and Kevin Edmonds. Alternate Member Ronald Hebert, Alternate Member Joseph Kelly, and Director of Community Development Zachary Meadows were also present.

ITEM 2) CONSIDERATION AND POSSIBLE ACTION CONCERNING: Approval of the Minutes of the September 3, 2019 Special Meeting.

Board Member Carlile made a motion to approve the minutes of the September 3, 2019 Special Meeting with corrections to Item 10 to note that the motion for approval was for conditional approval, and Board Member Barber seconded the motion.

VOTE:

5 AYES (Carlile, Edmonds, Hebert, King, Philpot)
0 NAYS

MOTION PASSED

Chairperson King recessed the Regular Meeting and the Board went into Executive Session at 6:34 p.m.

Chairperson King reconvened the Regular Meeting at 6:48 p.m. and announced that, due to posting issues and at the advice of legal counsel, the Board has postponed consideration of Items 3, 4, 5, and 6.

ITEM 3) CONDUCT A PUBLIC HEARING CONCERNING: A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Those in Favor
- C. Those Opposed
- D. Applicant's Rebuttal
- E. Adjourn Public Hearing

Consideration of this Item was postponed to a future meeting.

ITEM 4) CONSIDERATION AND POSSIBLE ACTION REGARDING: A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.

Consideration of this Item was postponed to a future meeting.

ITEM 5) CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1115, A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.

- A. Staff's Presentation of the Variance
- B. Applicant's Statement
- C. Those in Favor
- D. Those Opposed
- E. Applicant's Rebuttal
- F. Adjourn Public Hearing

Consideration of this Item was postponed to a future meeting.

ITEM 6) CONSIDERATION AND POSSIBLE ACTION REGARDING: VAR-19-1115, A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.

Consideration of this Item was postponed to a future meeting.

ITEM 7) ADJOURN

Board Member Barber made a motion to adjourn the meeting at 6:48 p.m. and Board Member Carlile seconded the motion.

VOTE:

5 AYES (Barber, Carlile, Edmonds, King, Philpot)

0 NAYS

MOTION PASSED

Dawn King, Chairperson

Board of Adjustments

ITEM 3

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC: **CONDUCT A PUBLIC HEARING CONCERNING:** A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.

BACKGROUND: The City of Dickinson Zoning Ordinance dictates that all structures located in the Conventional Residential Zoning District shall have a garage of minimum Two Hundred and Fifty (250) Square Feet. The home located at 1100 Magnolia Terrace has been approved through the Texas Water Development Board (TWDB) to have their home elevated to meet new elevation requirements and the funding was secured after Hurricane Ike.

A total of 11 homes were selected in Dickinson to finalize funds from Hurricane Ike, and all but this home can have the garage remain on the property without damage or having to be elevated at the time of the home. 1100 Magnolia Terrace can move forward with the funding and elevation project if a variance is approved.

- ATTACHMENTS:**
- Variance Application
 - Photograph of the Property
 - Aerial Map
 - Address Affidavit
 - Sign Affidavit
 - Publication Affidavit

SUBMITTING STAFF MEMBER
S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL	READINGS PASSED	OTHER
<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	



BOARD OF ADJUSTMENTS VARIANCE APPLICATION

PROPERTY INFORMATION

Property Address: 1100 Magnolia Terrace Circle
 Legal Description: Abst. Perry & Austin Sur Lot 10 & NE 10 FT of Lot 9 Magnolia Terrace
 Present district Zoning: (CR) Conventional Residential
 Variance Being Requested Description: Variance to Sec. 18-50(4)(f) of Zoning. The request is to allow for residential structure to be elevated & be exempted from having a garage.

OWNER INFORMATION

Owner Name: Coleman M. Lynn Owner Phone#
 Address: 1100 Magnolia Terrace Circle
 City: Dickinson State: TX Zip Code: 77539

APPLICANT/AGENT INFORMATION

Applicant Name: Coleman M. Lynn Applicant Phone#
 Address: 1100 Magnolia Terrace Circle
 City: Dickinson State: TX Zip Code: 77539

**If applicant is different than property owner a Notarized Letter of Authorization must be attached to the application*

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process

[Signature] 12-2-19
 Signature of Contractor/Authorized Agent Printed Name Application Date

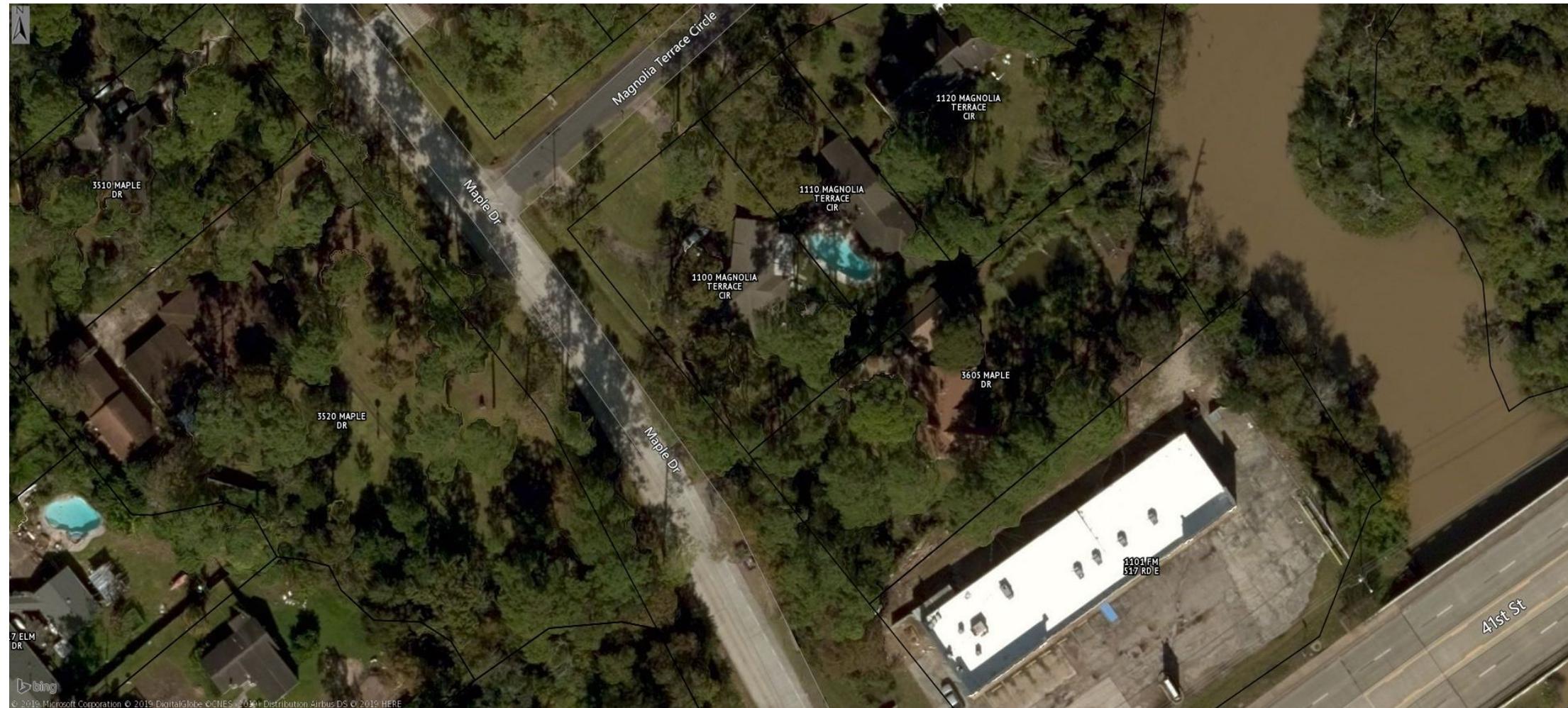
FOR OFFICE USE ONLY

Variance Number#: _____ Fees Due\$: _____
 Date was Submitted: _____ Payment rcvd: _____
 Reviewer: _____ Date: _____ Approved Denied
 Board Of Adjustments Meeting Date: _____ Approved Denied



1100 Magnolia Terrace Circle

1100 Magnolia Terrace





COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Address Affidavit

Section 18-20 #1 requires an affidavit stating the names and addresses of the persons to who notice was sent. This can be accomplished by adding a statement to the bottom of the list of addresses from the Galveston Central Appraisal District.

"I hereby certify notice was sent by certified mail, return receipt requested, to all property owners within 200'." (see attached address list)

David Grooms

Signature

Date: 12.31.2019

David Grooms

Printed Name

ACKNOWLEDGMENT

THE STATE OF Texas
COUNTY OF Galveston

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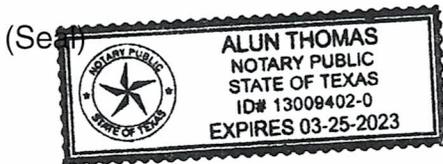
BEFORE ME, the undersigned authority, on this day personally appeared David Grooms, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

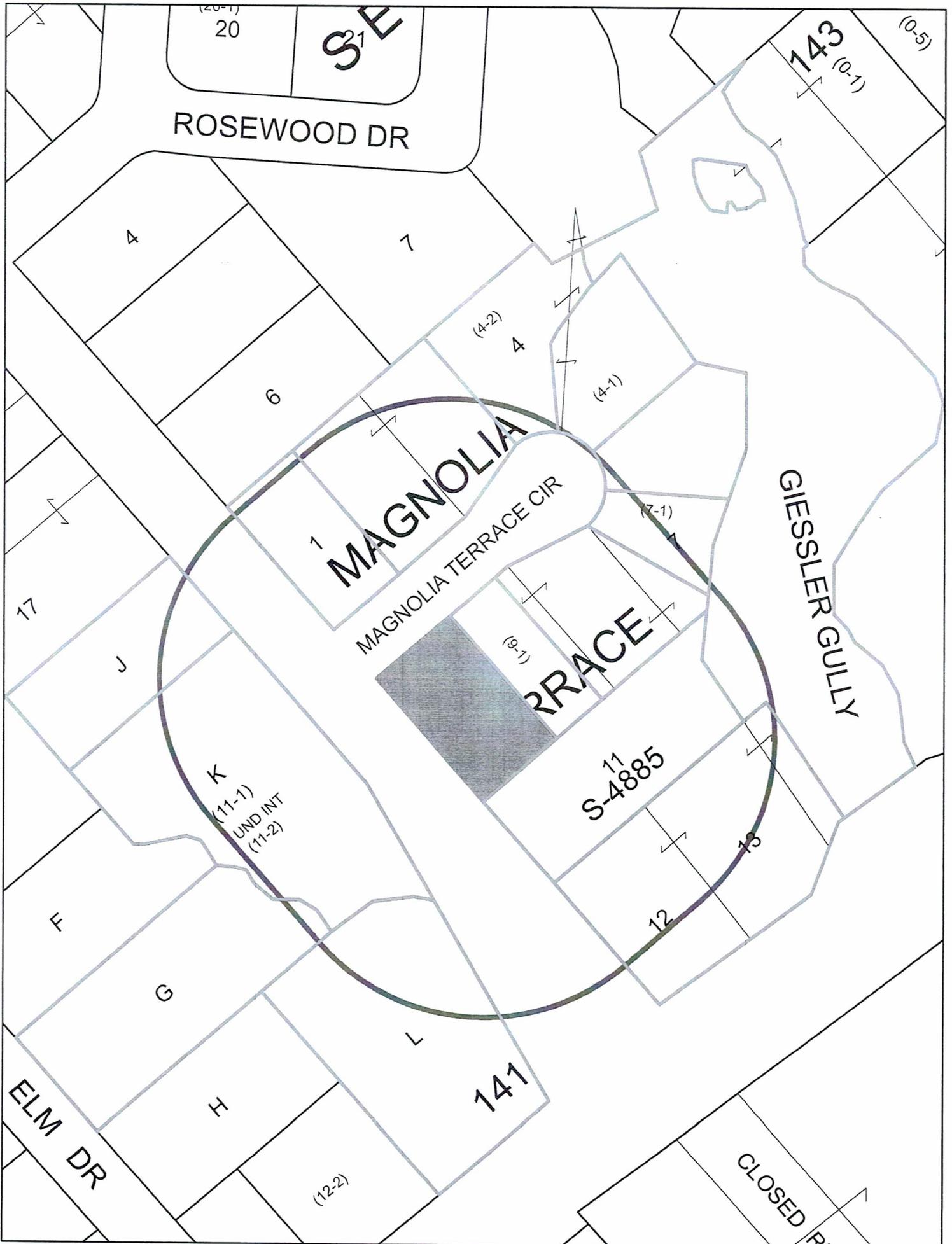
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 31st day of December 2019.

Alun W. Thomas

Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023





GEOID	ID	NAME
3015-0141-0012-000	163411	MKM ALLIANCE INC
3015-0141-0007-000	163407	DELEON JOHN III & YVONNE A
4885-0000-0012-000	164896	DIEP QUOC A & NGA MY VUONG
3015-0141-0011-001	389906	FILE ROBERT & PATRICIA A
3015-0141-0011-002	389908	FILE MICHAEL M & PATRICIA W
4885-0000-0011-000	164895	CATO KENNETH A
4885-0000-0009-001	164893	COLEMAN M LYNN
3015-0141-0010-000	163409	YELL TRAVIS & ASHLEY
4885-0000-0008-000	164892	CRABB JAMES E & KATHLEEN M
4885-0000-0007-001	164891	BAYOU MANAGEMENT TRUST
4885-0000-0001-000	164887	MEDLENKA GALEN E
4885-0000-0006-000	164890	DAUER CALVIN H & KAREN DIANE
4885-0000-0002-000	164888	LEWIS THOMAS H
4885-0000-0004-001	164889	MIFTARI SHANNON OSMAN & ELLEN ELISABETH
4885-0000-0004-002	522825	MIFTARI SHANNON & ELLEN MIFTARI

ADDRESS2	ADDRESS3	CITY	ST	ZIP
1021 FM 517 RD E		DICKINSON	TX	77539-8664
3525 ELM DR		DICKINSON	TX	77539-4525
10934 KIRKBRUSH DR		HOUSTON	TX	77089
3520 MAPLE DR		DICKINSON	TX	77539-4532
3520 MAPLE DR		DICKINSON	TX	77539-4532
3605 MAPLE DR		DICKINSON	TX	77539
1110 MAGNOLIA TERRACE CIR		DICKINSON	TX	77539
3510 MAPLE DR		DICKINSON	TX	77539
1120 MAGNOLIA TERRACE CIR		DICKINSON	TX	77539
3905 RAU DR		DICKINSON	TX	77539
524 N KANSAS		LEAGUE CITY	TX	77573
1140 MAGNOLIA TERRACE CIR		DICKINSON	TX	77539
1111 MAGNOLIA TERRACE CIR		DICKINSON	TX	77539
1115 MAGNOLIA TERRACE CIR		DICKINSON	TX	77539
103 AVE J		DICKINSON	TX	77539

SITUS

1021 E FM 517 DICKINSON, TX 77539

3525 ELM DR DICKINSON, TX 77539

1101 E FM 517 DICKINSON, TX 77539

3520 MAPLE DR DICKINSON, TX 77539

3520 MAPLE DR DICKINSON, TX 77539

3605 MAPLE DR DICKINSON, TX 77539

1110 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

3510 MAPLE DR DICKINSON, TX 77539

1120 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

1130 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

1101 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

1140 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

1111 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

1115 MAGNOLIA TERRACE CIR DICKINSON, TX 77539

MAGNOLIA TERRACE CIR DICKINSON, TX 77539

LEGAL

ABST 19 PAGE 7 LOT L BLK 141 ADDN D

ABST 19 PERRY & AUSTIN 110 X 245 X 285 FT OUT BLK 141 TR G ADDN D DICKINSON & IMPS

ABST 19 PAGE 7 LOTS 12 & 13 MAGNOLIA TERRACE & PT OF LOT 142 ADDN D DICKINSON

ABST 19 AUSTIN & PERRY SUR PT OF LOT 141(141-11-1) DICKINSON ADDN D AKA PT OF TR K 1/2 UND INT

ABST 19 AUSTIN & PERRY SUR PT OF LOT 141(141-11-2) DICKINSON ADDN D AKA PT OF TR K 1/2 UND INT

ABST 19 PERRY & AUSTIN LOT 11 ADDN D DICKINSON MAGNOLIA TERRACE

ABST 19 PERRY & AUSTIN W 55 FT OF E 70 FT OF LOT 9 MAGNOLIA TERRACE ADDN

ABST 19 PERRY & AUSTIN 90 FT X 200 FT LOT 141 TR J ADDN D DICKINSON

ABST 19 PERRY & AUSTIN 131 X 130 X 5 S PT LOT 7 ALL LOT 8 & E 15 FT LOT 9 MAGNOLIA TERRACE ADDN D & IMP

ABST 19 PERRY & AUSTIN 39.27 X 110 X 99 X 131 LOT 7 MAGNOLIA TERRACE ADDN D

ABST 19 PERRY & AUSTIN LOT 1 MAGNOLIA TERRACE S-D DICKINSON

ABST 19 PERRY & AUSTIN LOT 6 MAGNOLIA TERRACE ADDN D DICKINSON

ABST 19 PERRY & AUSTIN SUR LOTS 2 & 3 MAGNOLIA TERRACE

ABST 19 PERRY & AUSTIN PT LOTS 4 & 5 DIM IRREG ADDN D - MAGNOLIA TERRACE ACS .277

ABST 19 PERRY & AUSTIN SUR LOTS PT LOTS 4 & 5 (4-2) MAGNOLIA TERRACE



COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Sign Affidavit

Section 18-20 #2 requires an affidavit verifying that the sign(s) were posted as required. The sign(s) must be posted at least 10 days before the public hearing.

"I hereby certify that the public hearing signs were posted at 1100 Magnolia Terrace Circle Dickinson, TX 77539, on 12-26, 2019, which is at least ten (10) days prior to the meeting of the Board of Adjustments at which the variance will be considered, and I understand that such public hearing signs must remain posted until final action on the requested application has been taken by the Dickinson City Council."

S.R. Burgess
Signature
Date: 12-30-19

S.R. Burgess
Printed Name

ACKNOWLEDGMENT

THE STATE OF Texas
COUNTY OF Galveston

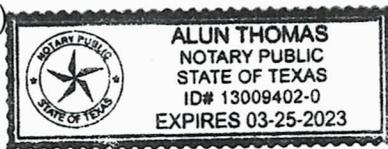
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BEFORE ME, the undersigned authority, on this day personally appeared S.R. Burgess, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 2019.

Alun W. Thomas

(Seal)



Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023

VARIANCE

The BOARD of ADJUSTMENTS OF THE City of Dickison will hold a public hearing to consider a requested map change, variance or Specific Use Permit.

Address of requested change:
1100 MAGNOLIA TERR. DICKINSON TEXAS 77539

Meeting time & Location **MONDAY JANUARY 6TH 2020**
At 6:30pm. ON
At City Hall, 4403 State Highway 3 Dickinson Texas 77539

A request has been made for:
GARAGE

12/26/2019 12:05

Notice of Public Hearing

AFFP
PH - 1100 Magnolia Terrace Cr

Affidavit of Publication

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200 feet of the property listed below regarding a Zoning Change Application. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

STATE OF TX }
COUNTY OF GALVESTON } SS

Address of Property:
1100 Magnolia Terrace Circle, Dickinson, TX. 77539

Donna Rhoades, being duly sworn, says:

Legal Description:
Abst 19 Perry & Austin Sur Lot 10 & NE 10 Ft of Lot 9
Magnolia Terrace

That she is Donna Rhoades of the The Galveston County Daily News, a daily newspaper of general circulation, printed and published in Galveston, Galveston County, TX; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:
December 21, 2019

Proposal:
Variance to Sec. 18-50 (4)(f) of Zoning. The request is to allow for residential structure to be elevated & be exempted from having a garage.

Meeting Date:
Monday, January 6th, 2020 At 6:30 p.m.

That said newspaper was regularly issued and circulated on those dates.
SIGNED:

Meeting Location: Council Chambers
4403 Highway 3, Dickinson, TX. 77539



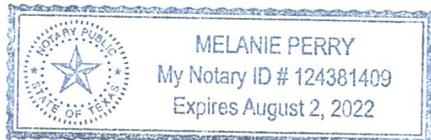
If you would like additional information regarding the details of this proposal, please contact Ray Burgess, Building Official at 281-337-8833.

Donna Rhoades

Published: December 21, 2019
00481522

Subscribed to and sworn to me this 21st day of December 2019.


Melanie Perry, Notary Public, State of Texas, Galveston County, TX
My commission expires: August 02, 2022



13103514 00481522

CITY OF DICKINSON
4403 HWY 3
DICKINSON, TX 77539-

Board of Adjustments

ITEM 4

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC: **CONSIDERATION AND POSSIBLE ACTION CONCERNING:** A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be elevated and exempted from the requirement of having a garage, at 1100 Magnolia Terrace, Dickinson, Texas 77539.

BACKGROUND: In the previous agenda item, the Board of Adjustments conducted a public hearing concerning a variance request from the provisions of Chapter 18 Zoning, Article IV Zoning Districts, Section 18-50(4)(f).

The property located at 1100 Magnolia Terrace is part of an elevation program from Hurricane Ike, this property is eligible for matching funds to the property owner. This property also flooded during Hurricane Harvey. This property was in the program for elevating. During the last legislative session, one of the bills that passed was how the City could enforce building materials regulations on structures and materials.

In this particular case, if the property owner is required to have a garage at this time, the cost of the improvements of the garage would fall on the property owner. Therefore the property owner has indicated that they will not be able to participate in the program due to the increased cost to participate.

More than likely this property is considered by FEMA a repetitive loss property. As the floodplain administrator for the City, I feel it is very important that this property be elevated, and an exception granted. Also the board may want to consider a requirement to build the garage within 5 years.

RECOMMENDATION: Staff Recommends Approval of the Variance Request

ATTACHMENTS: • None

SUBMITTING STAFF MEMBER
S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL	READINGS PASSED	OTHER
<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	

Board of Adjustments

ITEM 5

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC: **CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1115,**
A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.

BACKGROUND: The City of Dickinson Zoning Ordinance dictates that all structures located in the Conventional Residential Zoning District shall have a garage of minimum Two Hundred and Fifty (250) Square Feet. The home located at 2718 Oak Drive was severely damaged during Hurricane Harvey and has also had many setbacks in the repair of the home since repairs started back in early 2018. After receiving a complaint that the home had no garage as required for everyone else in the City, City Staff investigated the issue and called the owners in to correct the issue at hand. The garage was enclosed at some point prior to the Zoning Ordinance being adopted, which made the property nonconforming, however repairs to the home exceed 50% of the value of the home, and as such the property is required to come into compliance with all regulations including the garage requirement, the applicant is seeking relieve form this requirement.

- ATTACHMENTS:**
- Variance Application
 - Photograph of the Property
 - Aerial Map
 - Floorplans
 - Address Affidavit
 - Sign Affidavit
 - Publication Affidavit

SUBMITTING STAFF MEMBER
S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER



BOARD OF ADJUSTMENTS VARIANCE APPLICATION

PROPERTY INFORMATION

Address: 2718 OAK DR. DICKINSON, TX 77539

Legal Description: Lot five (5) of Oak Forest Addition, a subdivision in Galveston County, Texas. According to the map thereof recorded in Volume 254-A, page 75. Later transferred to Plat Record 2, map 77 # in the Office of the County Clerk of Galveston County.

Present Zoning:

Variance Being Requested Description: To keep enclosed garage as an enclosed garage (bedroom) on house after renovation is complete.

OWNER INFORMATION

Owner Name: Raul & Dana Hernandez Phone #:

Address: P.O. Box 1285 or 2718 Oak Dr.

City: Dickinson State: TX Zip: 77539

APPLICANT/AGENT INFORMATION

Applicant Name: Dana Hernandez Phone #:

Address: P.O. Box 1285

City: Dickinson State: TX Zip: 77539

* If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process

Dana Hernandez Dana Hernandez 10-15-18
 Signature of Contractor/Authorized Agent Printed Name Date

FOR OFFICE USE ONLY

Variance Number: _____ Fees Due: _____

Date Submitted: _____ Payment: _____

Reviewer: _____ Date: _____ Approved Denied

Board Of Adjustments Meeting Date: _____ Approved Denied

Google Maps 2718 Oak Dr



Image capture: Aug 2018 © 2019 Google

2718 Oak Drive

Dickinson, Texas



Street View



GENERAL NOTES

1. General contractor Must verify all dimensions for set backs ,utility easements , and bldg lines.
2. Water riser must be metal above ground schedule 40 PVC may only be used on the exterior of the building below grade
3. Entire project shall be constructed in accordance with 2015 I.R.C. and the 2014 NEC
4. Refer to structural for compliance with wind load design criteria
5. Aluminum wiring shall not be used and copper 12/2 with ground is the smallest conductor size allowed
6. All drainage and runoff shall be collected on-site or directed on surface to street. Drainage and runoff is not allowed to be directed on to adjacent properties.
7. All mechanical equipment exhaust must terminate on the exterior of the structure
8. Fences require a separate permit. If required.
9. General contractor OR Owner Must verify all dimensions for set backs ,utility easements , and bldg lines.

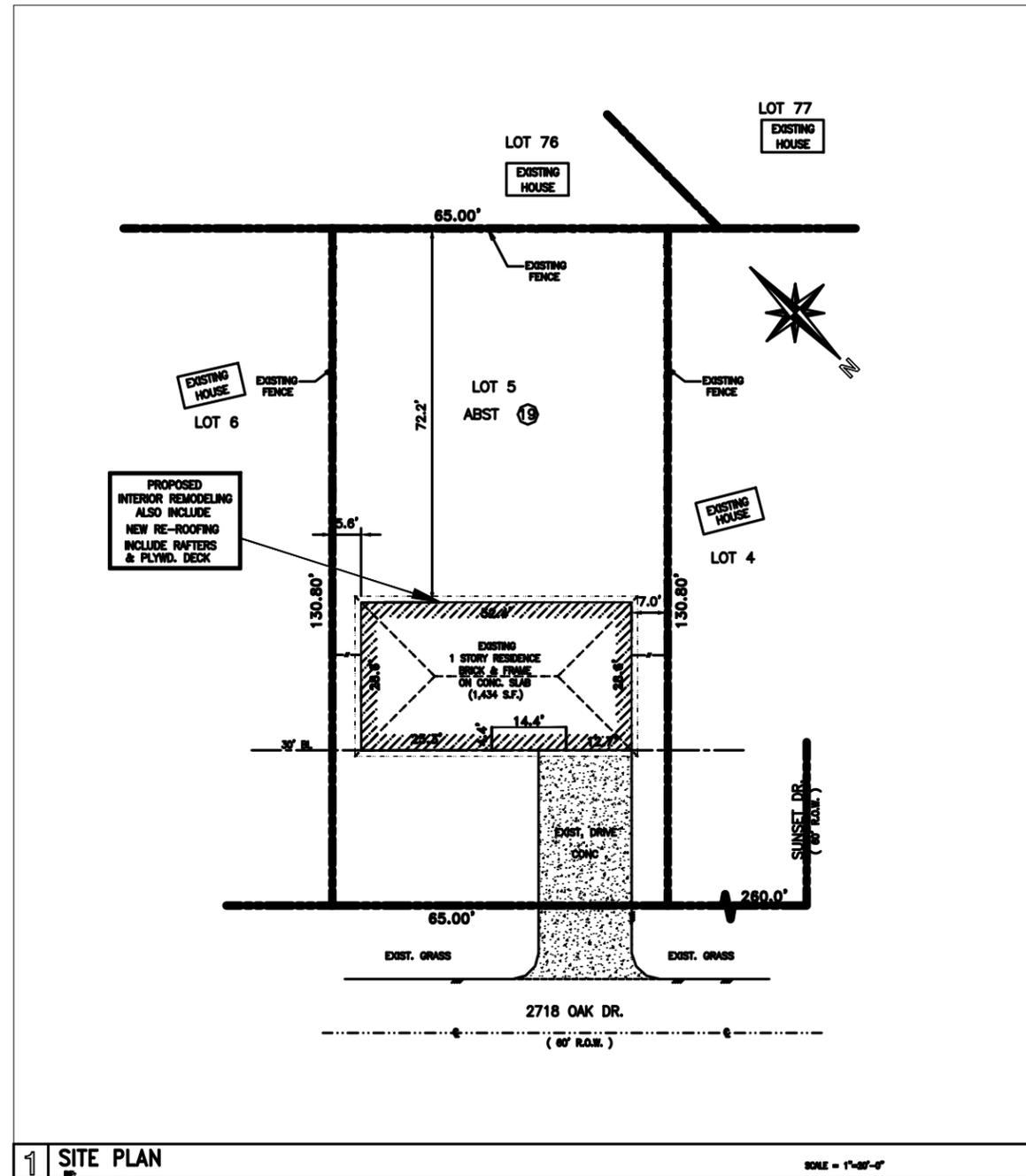
LINES LEGEND:

---	DITCH
---	SAN. SEWER
---	WATER LINE
---	ELECT. LINE
---	GAS LINE
---	STORM PIPE
---	PROPERTY LINE
---	EASEMENT
---	BUILDING LINE

CONTRACTOR/OWNER
PLEASE VERIFY
UTILITIES LOCATION

FLOOD PLAIN DATA:

THIS LOT DOES NOT LIE IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE B AS LOCATED BY THE FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA COMMUNITY PANEL NO. 481569 005B
DATED: 03-04-91



1 SITE PLAN

SCALE = 1"=20'-0"

LEGAL DESCRIPTION:

LOT FIVE (5) IN ABST NINETEEN (19), OF OAK FOREST ADDITION, A SUBDIVISION IN GALVESTON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED AT DICKINSON, GALVESTON COUNTY , TEXAS.
ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN MAP ID. 166-C,
IN THE OFFICE OF COUNTY CLERK OF GALVESTON COUNTY , TEXAS.

**AS BUILT SET
OF DRAWINGS
PROPOSED
REMODELING
FOR PERMITTING**



MTZ CAD SERVICES INC.
8000 WEATHERS PARKWAY TX 77060
AutoCAD DRAFTING
Tel: (713) 477-0650 Cell: (713) 410-0638

DESIGN & PLANNING SERVICES

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MTZ CAD RECOMMENDS THE OWNER/GEN. CONTRACTOR TO CONSULT WITH AN STRUCTURAL ENGINEER FOR ALL STRUCTURAL FRAMING OR FOUNDATION DESIGNS.



Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
SITE PLAN

A 02/07/18 PRELIMINARY PLANS

Date: 03/27/18 Drawn: PM

Project No: 28037

Sheet Title:

SITE PLAN

Sheet No: SP-1

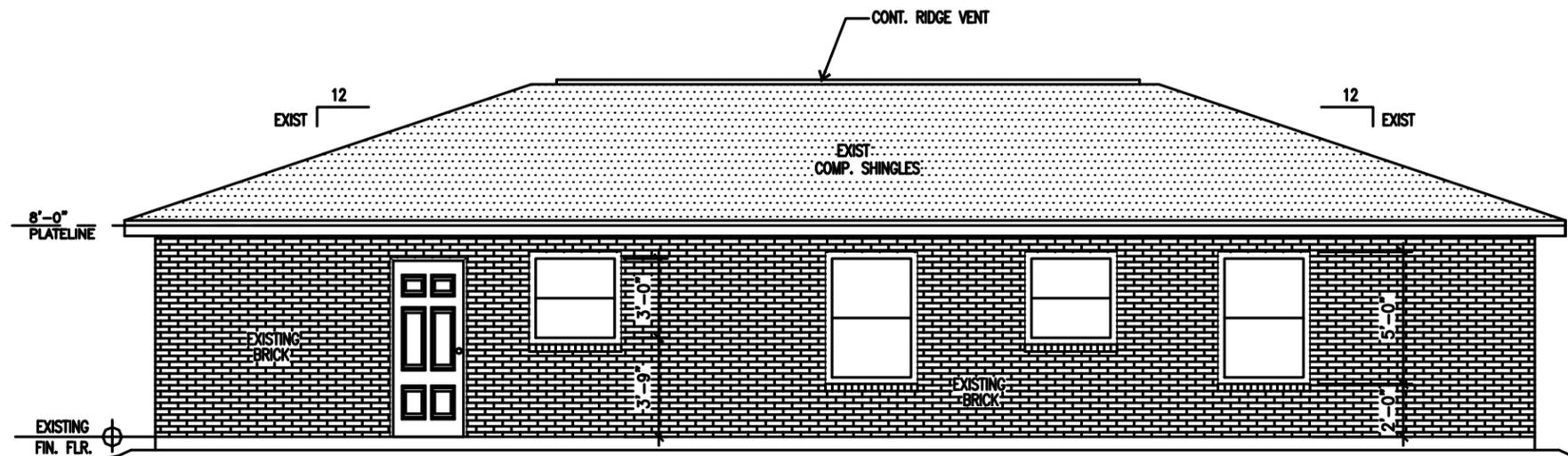
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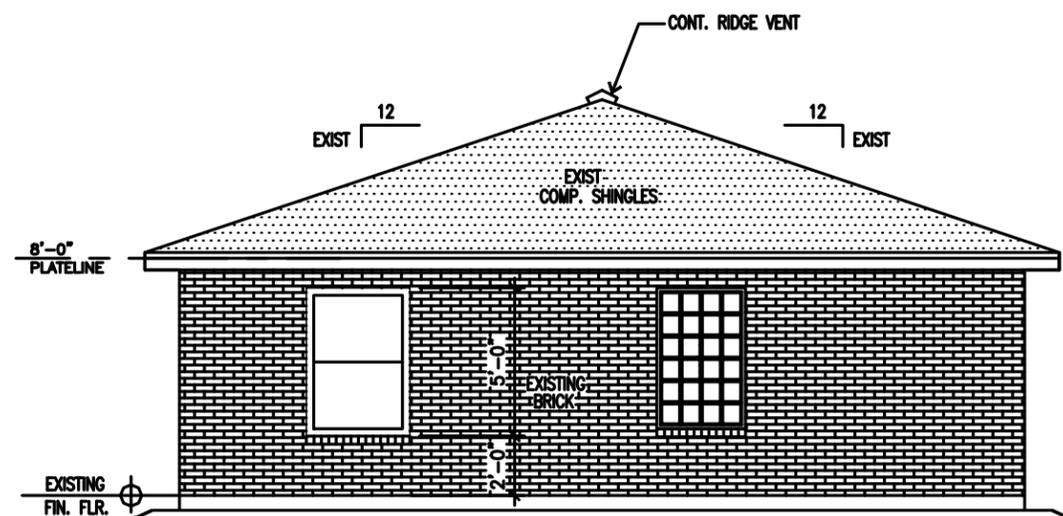


Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
 CUSTOMER: RAUL & DANA HERNANDEZ
 ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
 EXTERIOR ELEVATIONS



EXIST SOUTH ELEVATION
 Scale : 1/4" = 1'-0"



EXIST EAST ELEVATION
 Scale : 1/4" = 1'-0"

Existing Elevations

FOR REFERENCE

A	02/07/18	PRELIMINARY PLANS

Date: 05/27/18 Drawn: PM

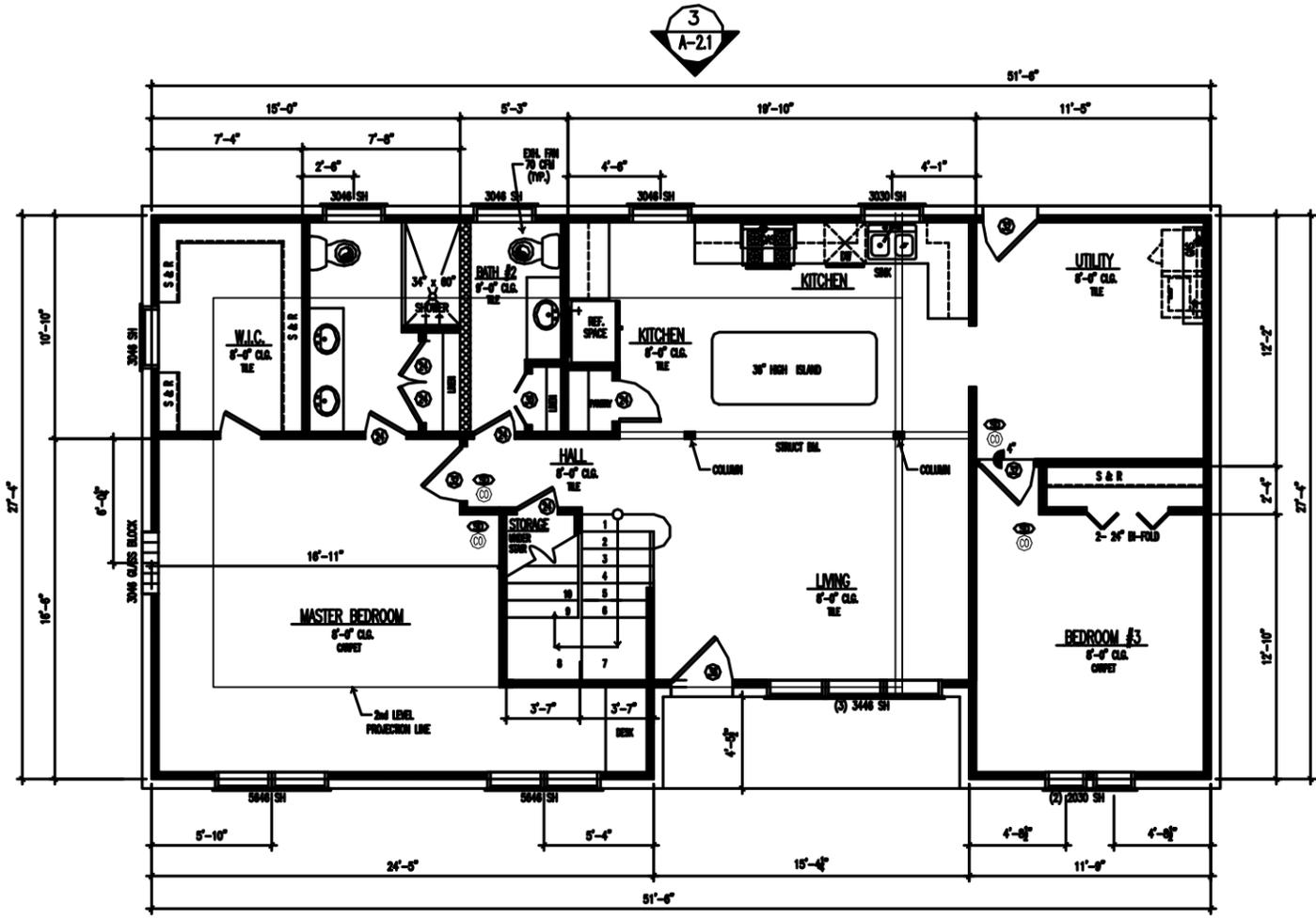
Project No: 28037

Sheet Title: EXTERIOR & INTERIOR ELEVATIONS

Sheet No: A-0.2

General Notes:

1. All work to be done as per code and regulations.
2. Water resist gyp. board (full ht.), @ shower, tub, and walls subject to water splash.
3. Tub and shower, if not fiber glass, shall be tiled to 72" above drain inlet.
4. Glazing in shower, tub enclosure, & door, shall be impact resistant (tempered).
5. Provide access panels @ plumbing walls, especially tub walls.
6. For installation of AHU see contractor. If required
7. All exhaust fans must be vented to the outside.
8. Provide G.F.I. where shown as per National Electrical Code.
9. Gas installations and appliances are to be consistent with applicable codes and manufacturer's specifications. If required
10. Provide safety glazing in all specific hazardous locations in accordance with the requirements IRC section R308
11. Fire box is to be installed as per 2015 I.F.C. Standard and manufacturer's specifications are to be posted at the job site.
12. All exterior finishes shall be water resistant.
13. All ceilings 9'-0" high Typ. (U.N.O.)
- 13a. All ceilings in Bedroom Areas 9'-0" high
14. Verify all dimensions, drops, offsets, brick ledges inserts and openings with owner/general contractor.
15. Smoke detector shall be hard-wired interconnected, with battery back up as per the IRC R317.1 (typ.)
16. Provided plywood pad in attic for hvac units, water heater units, w/required elect. mech. & plumbing if required.
17. Water heater to be placed in attic with pan & drain if required.
18. For floor finishes final approval verify w/owner
19. Provided plywood catwalk access in attic for hvac units & water heater. If required.
20. Seal from House to Garage w 5/8" S/R type "X" (common walls & ceiling only)
21. 20 min. fire rated (self-closing) from Garage to the Residence.
22. Disappearing Stair Used in Fire Rated Ceiling (Garage) to have no less than 3/8" Fire Rated Plywood or Covering with min. 16 Ga. Sheet Metal.

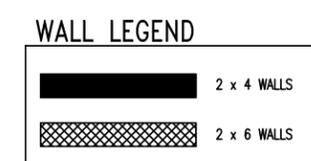


4
A-21

3
A-21

2
A-20

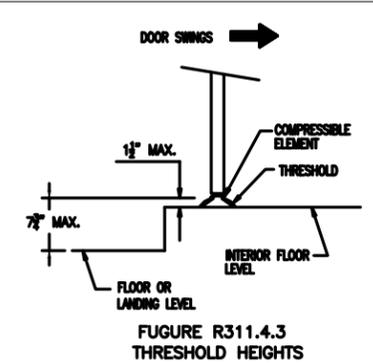
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A-20



SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED, INTER-CONNECTED, WITH BATTERY BACK UP AS PER THE IRC R317.1 (TYP.)

1 FLOOR PLAN

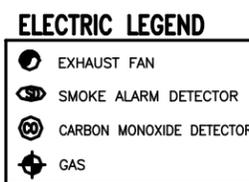
3/16" = 1'-0"



NOTE: THE LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 0.25 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT).

DOOR LANDING DETAIL

PLANS MADE TO COMPLY WITH CITY OF DICKINSON BUILDING CODES
 2015 International Residential Code (I.R.C.) w/ local amended
 2015 International Mechanical Code (I.M.C.) w/ local amended
 2015 International Plumbing Code (I.P.C.) w/ local amended
 2014 National Electrical Code (N.E.C.) w/local amended
 Windstorm Requirements: 140 mph - ULTIMATE WIND SPEED



EXIST. & PROP. AREA CALCULATION

EXIST. LIVING AREA	1,434 S.F.
EXISTING GARAGE	0 S.F.
EXISTING PORCH	75 S.F.
EXISTING PATIO	0 S.F.
TOTAL EXIST.	1,509 S.F.
EXISTING & PROPOSED LIVING AREA	0 S.F.

AS BUILT SET OF DRAWINGS PROPOSED REMODELING FOR PERMITTING

MTZ CAD SERVICES INC.
 8000 WHEATLAND PARKWAY PASADENA TX 77080
 AutoCAD DRAFTING
 Tel: (713) 477-0650 Cell: (713) 410-0638

DESIGN & PLANNING SERVICES
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Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
FLOOR PLAN

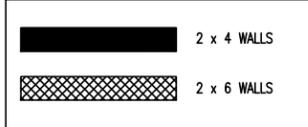
A	02/07/18	PRELIMINARY PLANS

Date: 03/27/18 Drawn: PM
 Project No: 28037
 Sheet Title: FLOOR PLAN
 Sheet No: A-1.0

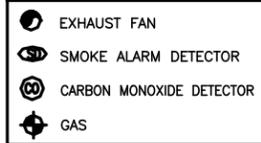
General Notes:

- All work to be done as per code and regulations.
- Water resist gyp. board (full ht.), shower, tub, and walls subject to water splash.
- Tub and shower, if not fiber glass, shall be tiled to 72" above drain inlet.
- Glazing in shower, tub enclosure, & door, shall be impact resistant (tempered).
- Provide access panels @ plumbing walls, especially tub walls.
- For installation of AHU see contractor. If required
- All exhaust fans must be vented to the outside.
- Provide G.F.I. where shown as per National Electrical Code.
- Gas installations and appliances are to be consistent with applicable codes and manufacturer's specifications. If required
- Provide safety glazing in all specific hazardous locations in accordance with the requirements IRC section R308
- Fire box is to be installed as per 2015 I.F.C. Standard and manufacturer's specifications are to be posted at the job site.
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- All ceilings 9'-0" high Typ. (U.N.O.)
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21. 20 min. fire rated (self-closing) from Garage to the Residence.
22. Disappearing Stair Used in Fire Rated Ceiling (Garage) to have no less than 3/8" Fire Rated Plywood or Covering with min. 16 Ga. Sheet Metal.

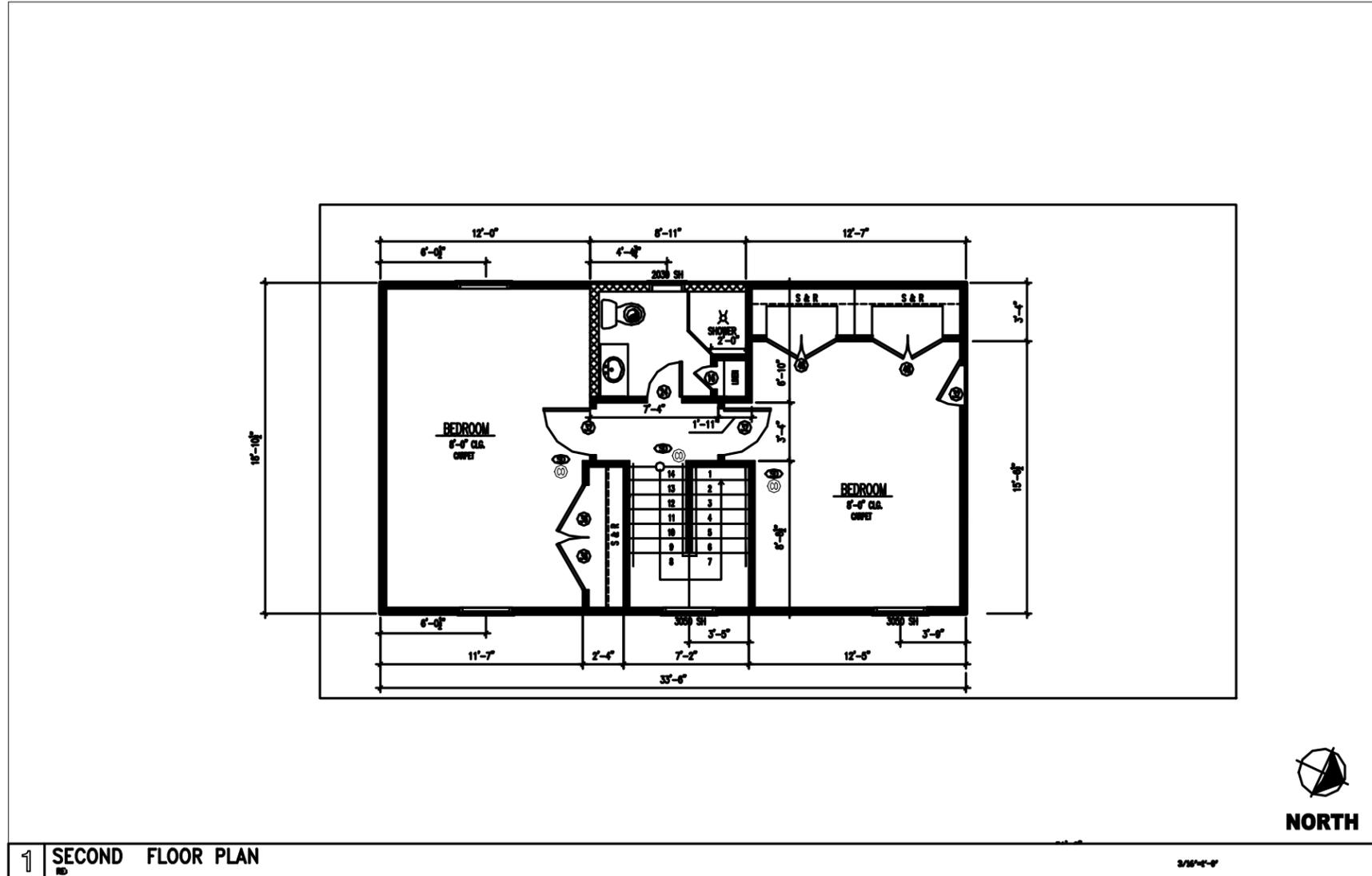
WALL LEGEND



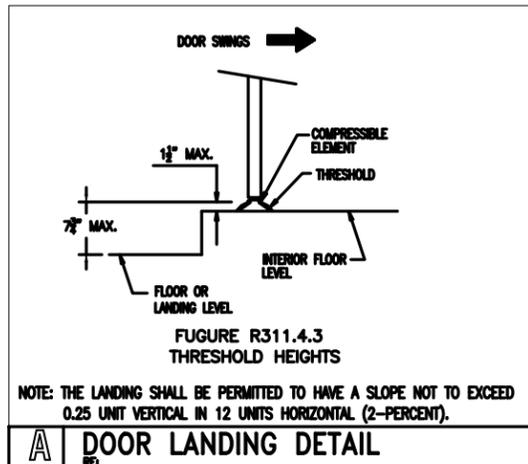
ELECTRIC LEGEND



SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED, INTER-CONNECTED, WITH BATTERY BACK UP AS PER THE IRC R317.1 (TYP.)



1 SECOND FLOOR PLAN



PLANS MADE TO COMPLY WITH CITY OF DICKINSON BUILDING CODES
 2015 International Residential Code (I.R.C.) w/ local amended
 2015 International Mechanical Code (I.M.C.) w/ local amended
 2015 International Plumbing Code (I.P.C.) w/ local amended
 2014 National Electrical Code (N.E.C.) w/local amended
 Windstorm Requirements: 140 mph - ULTIMATE WIND SPEED

EXIST. & PROP. AREA CALCULATION

EXIST. LIVING AREA	1,434 S.F.
EXISTING GARAGE	0 S.F.
EXISTING PORCH	75 S.F.
EXISTING PATIO	0 S.F.
TOTAL EXIST.	1,509 S.F.
EXISTING & PROPOSED LIVING AREA	0 S.F.

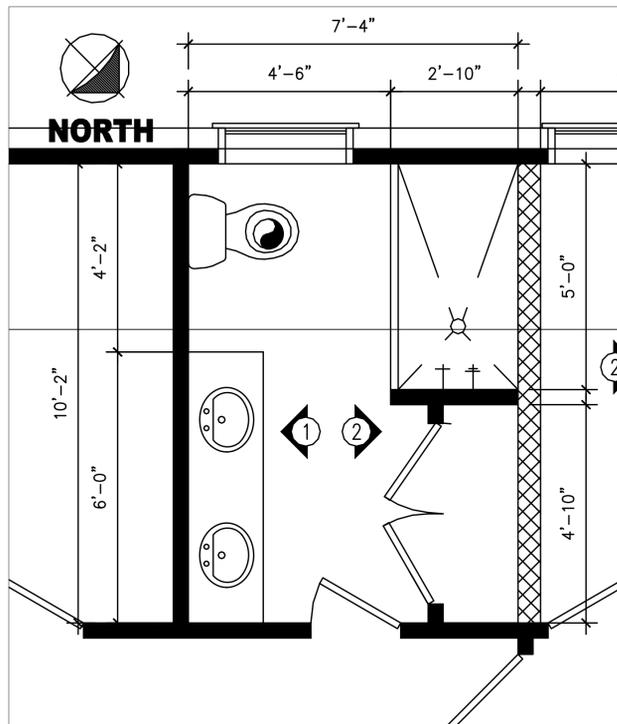
MTZ CAD SERVICES INC.
 8000 STEWARTS PASSAGE TX 77060
 AutoCAD DRAFTING
 Tel: (713) 477-0650 Cell: (713) 410-0630

DESIGN & PLANNING SERVICES
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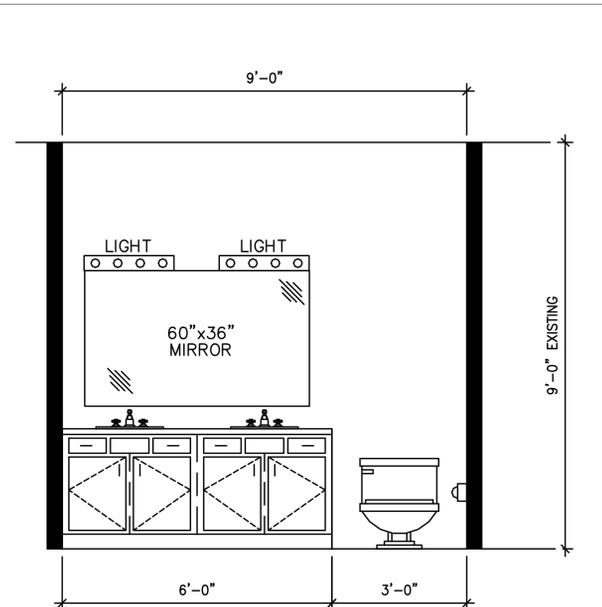
DESIGNER: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
 CUSTOMER: RAUL & DANA HERNANDEZ
 ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
 SECOND FLOOR PLAN

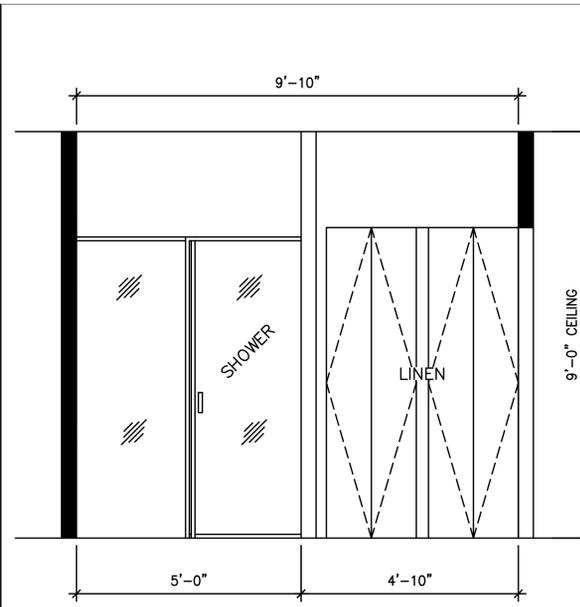
A	02/07/18	PRELIMINARY PLANS
Date:	03/27/18	Drawn: PM
Project No:	28037	
Sheet Title:	SECOND FLOOR PLAN	
Sheet No:	A-1.1	



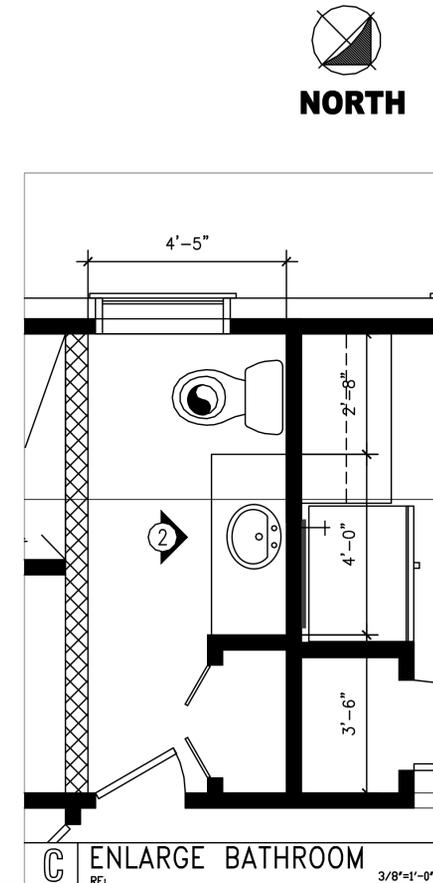
A ENLARGE MASTER BATHROOM
REF: 3/8"=1'-0"



1 MASTER BATHROOM ELEVATION
REF: 3/8"=1'-0"

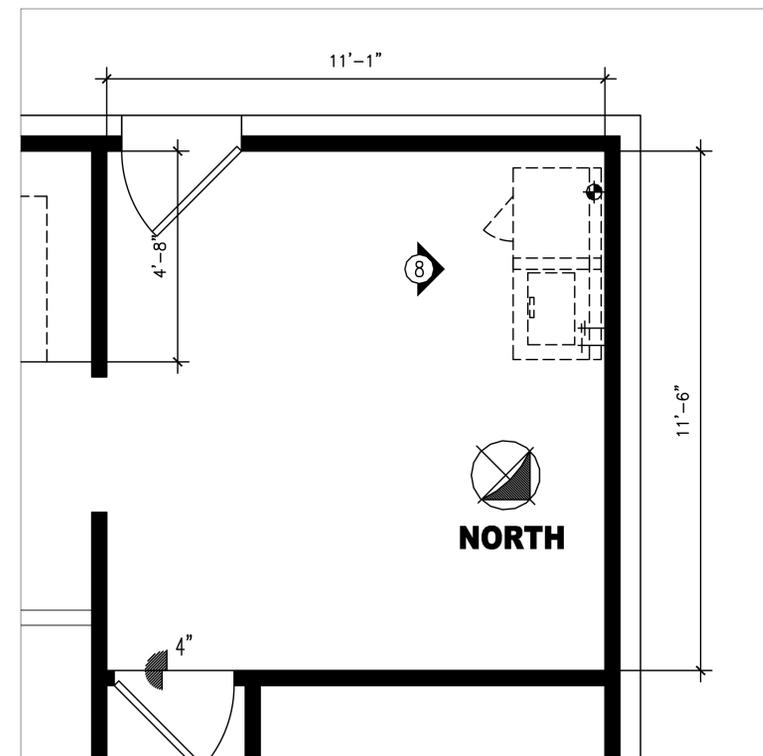


2 MASTER BATHROOM #2 ELEVATION
REF: 3/8"=1'-0"

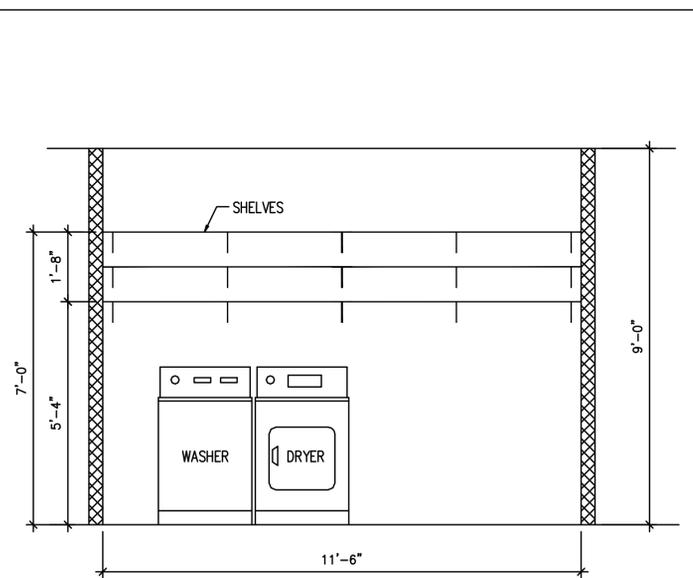


C ENLARGE BATHROOM
REF: 3/8"=1'-0"

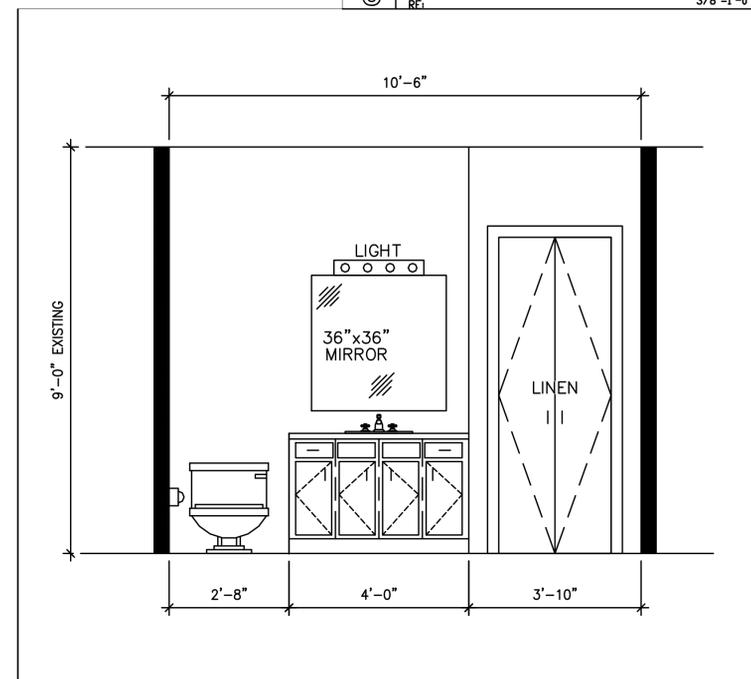
CABINETS AND FINAL INTERIOR DESIGN, MATERIALS & COLORS SHALL BE COORDINATED WITH THE OWNER



D UTILITY ENLARGE
REF: 3/8"=1'-0"



8 UTILITY ELEVATION
REF: 3/8"=1'-0"



3 BATHROOM ELEVATION
REF: 3/8"=1'-0"

MTZ
MTZ CAD SERVICES INC.
2500 STRAWBERRY PASADENA TX 77502
AutoCAD DRAFTING
Tel: (713) 477-0559 Cell: (713) 419-0638

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Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
INTERIOR ELEVATIONS

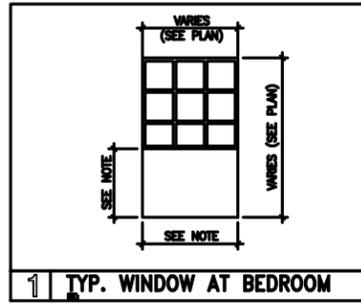
A	02/07/18	PRELIMINARY PLANS

Date: 03/27/18
Drawn: PM

Project No: 28037

Sheet Title: INTERIOR ELEVATIONS

Sheet No: A-1.2



WINDOW SIZE NOTE:

AT LEAST ONE (1) OPERABLE, EXTERIOR WINDOW IS REQUIRED FOR EACH SLEEPING ROOM, THAT EGRESS WINDOW SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISH FLOOR, AND MUST HAVE A NET CLEAR OPERABLE AREA 5.0 SQ. FT. (MINIMUM 24" HIGH & 20" WIDE.) RE: R310.1

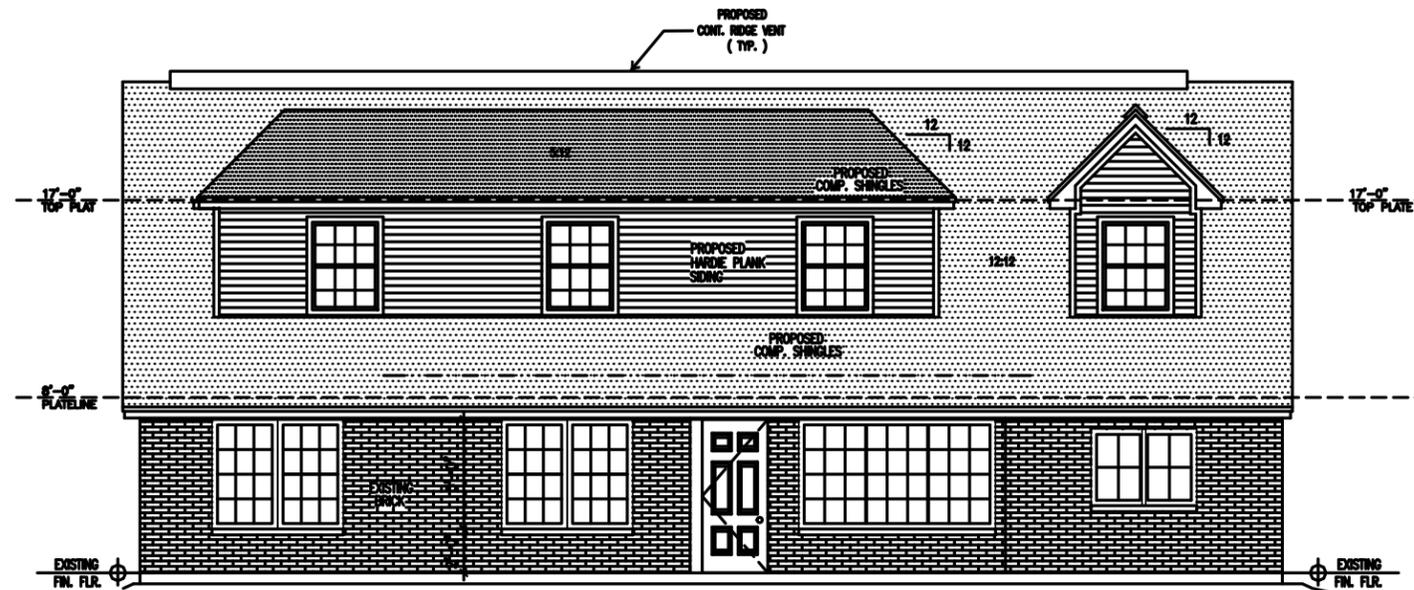
NOTE: OWNER/CONTRACTOR PLEASE VERIFY

ALL EXTERIOR WALL TO USE 7/16" O.S.B. (MIN) NAIL 6" O.C. AT EDGES, & 12" O.C. AT FIELD W/8d NAILS TYP. (U.O.N.)

ENERGY CODE NOTE:

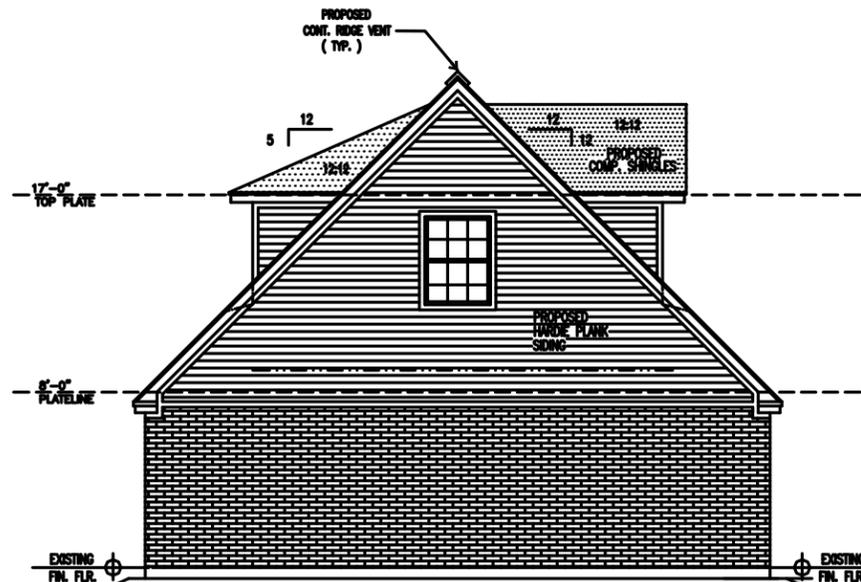
GENERAL CONTRACTOR TO FOLLOW THE ENERGY CODE REPORT ATTACHED TO THIS SET OF PLANS FOR WINDOWS, ROOF & WALL INSULATION, A/C UNITS OR ANY OTHER ENERGY CODE REQUIREMENTS.

PROVIDE SAFETY GLAZING IN ALL SPECIFIC HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF IRC SECTION R308.



1 FRONT ELEVATION

SCALE = 1/4"=1'-0"



PROPOSED RIGHT ELEVATION

Scale : 3/16 = 1'-0"

2 RIGHT ELEVATION

SCALE = 1/4"=1'-0"



MTZ CAD SERVICES INC.
 2800 WHEATLAND PARKWAY, PASADENA, TX 77069
 AutoCAD DRAFTING
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Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
 CUSTOMER: RAUL & DANA HERNANDEZ
 ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
 EXTERIOR ELEVATIONS

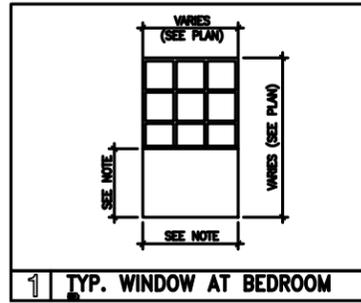
A	02/07/18	PRELIMINARY PLANS

Date: 03/27/18
 Drawn: PM

Project No: 28037

Sheet Title: EXTERIOR & INTERIOR ELEVATIONS

Sheet No: A-2.0



WINDOW SIZE NOTE:

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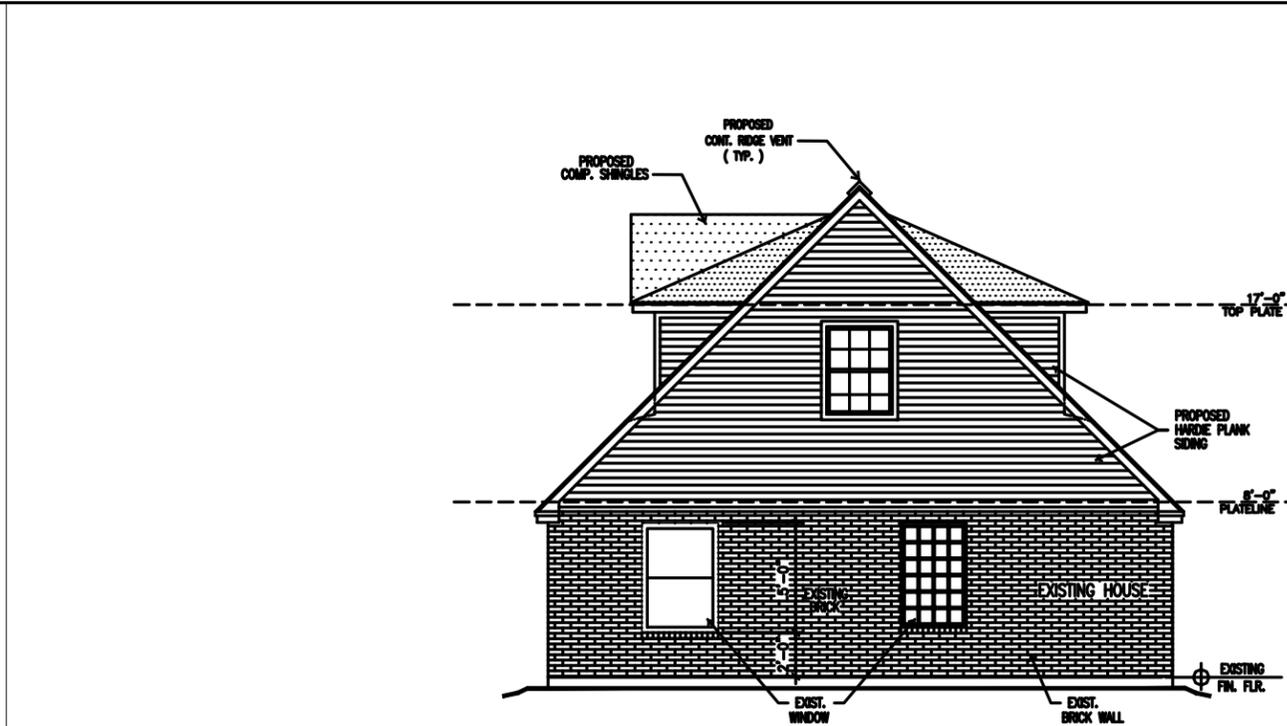
ENERGY CODE NOTE:
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PROVIDE SAFETY GLAZING IN ALL SPECIFIC HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF IRC SECTION R308.



4 REAR ELEVATION

SCALE = 1/4"=1'-0"



3 LEFT ELEVATION

SCALE = 1/4"=1'-0"



MTZ CAD SERVICES INC.
2000 W. HARRISBURG PARKWAY, PEARLAND, TX 77606
AutoCAD DRAFTING
Tel: (713) 477-0550 Cell: (713) 419-0530

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PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
EXTERIOR ELEVATIONS

A	02/07/18	PRELIMINARY PLANS

Date: 05/27/18
Drawn: PM
Project No: 28037
Sheet Title: EXTERIOR & INTERIOR ELEVATIONS
Sheet No: A-2.1



MTZ CAD SERVICES INC.
 8000 WEATHERS PARKWAY, PEARLAND, TX 77656
 AutoCAD DRAFTING
 Tel: (713) 477-0650 Cell: (713) 419-0638

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Designer: Prisciliano Martinez

PROJECT: REMODLE TO AN EXISTING HOUSE
 CUSTOMER: RAUL & DANA HERNANDEZ
 ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
 CROSS SECTION

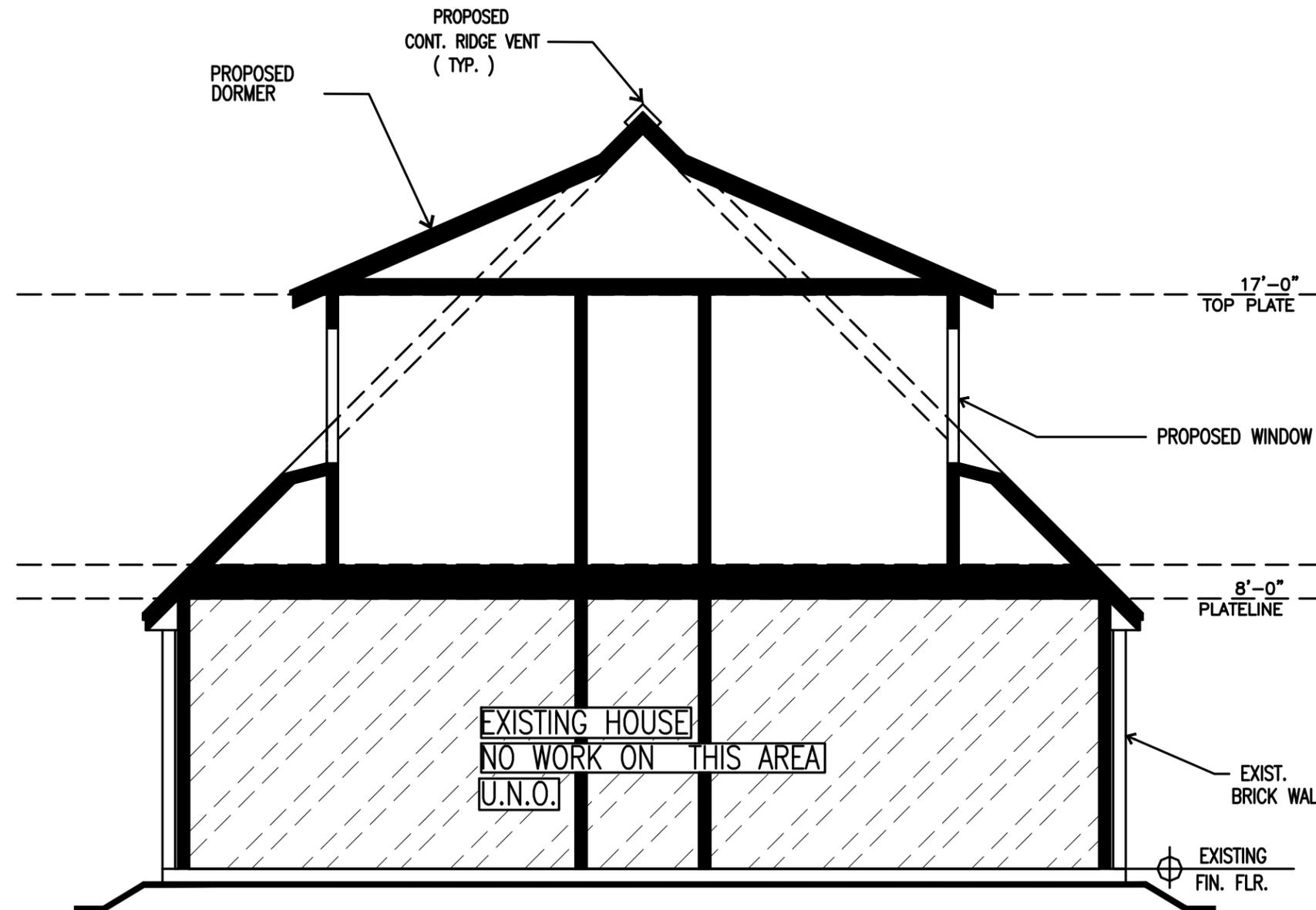
A 02/07/18 PRELIMINARY PLANS

Date: 03/27/18 Drawn: PM

Project No: 28037

Sheet Title: CROSS-SECTION

Sheet No: A-3.0



2 RIGHT ELEVATION

SCALE = 1/4"=1'-0"

ELECTRIC LEGEND

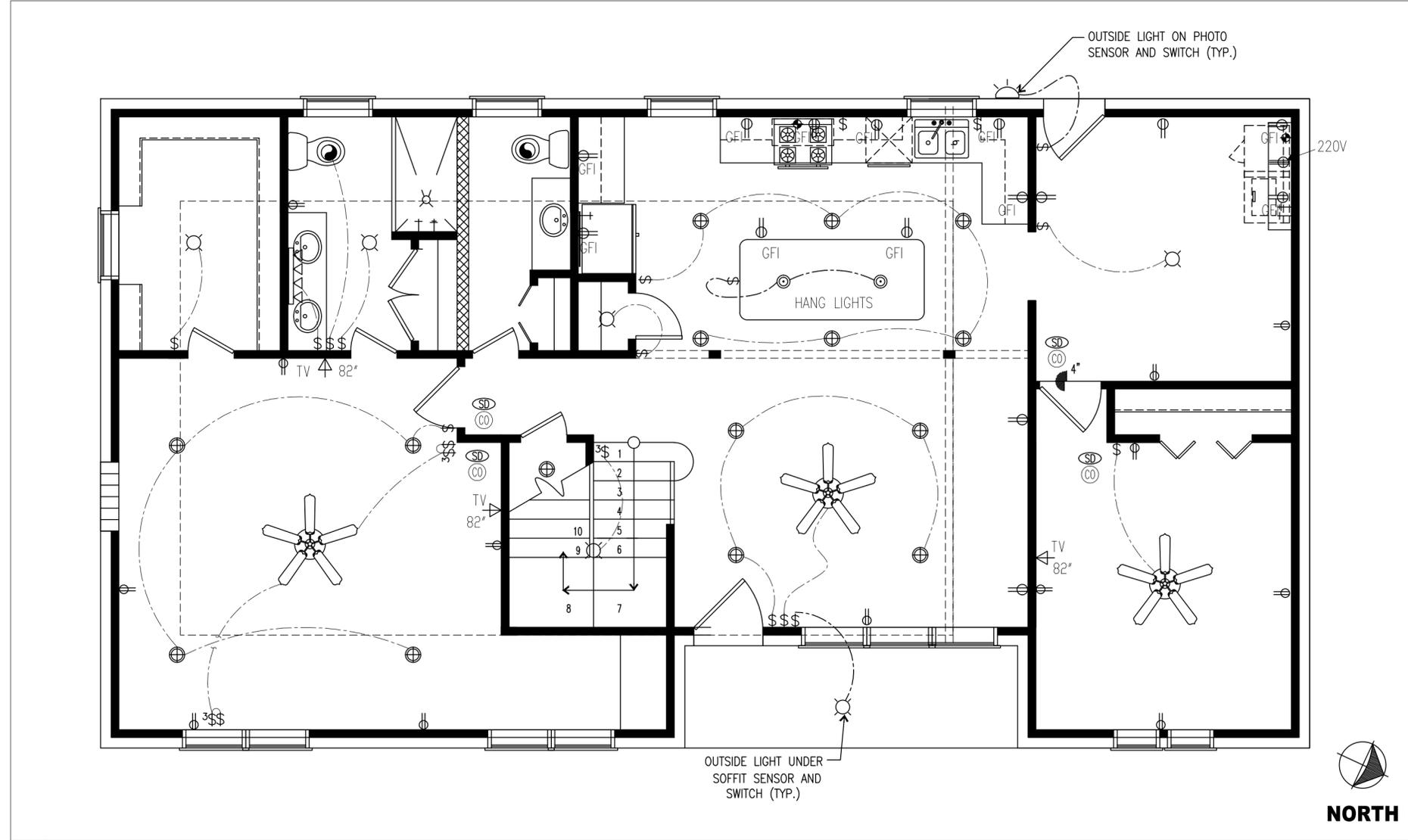
-  STRIP LIGHT 4 FT.
-  STRIP LIGHTS WALL MOUNTED
-  CEILING FAN W/LIGHT
-  CHANDELIER LIGHT
-  HANGING LIGHTS
-  SINGLE POLE LIGHT SWITCH
-  THREE WAY LIGHT SWITCH
-  FOUR WAY LIGHT SWITCH
-  110V. DUPLEX RECEPTACLE
-  220V. OUTLET
-  DUPLEX RECEPTACLE OUTLET GROUND FAULT INTERRUPTED
-  DUPLEX RECEPTACLE OUTLET WEATHERPROOF DEVICE
-  DUPLEX RECEPTACLE OUTLET WEATHERPROOF DEVICE GROUND FAULT INTERRUPTED
-  110V. DUPLEX REC. IN CEILING OR ON FLOOR
-  SPORT LIGHTER W/PHOTOCELL
-  STANDARD LIGHT
-  RECESSED LIGHT FIXTURE (75 WATT) MAX.
-  WALL MOUNTED INCANDESCENT LIGHT FIXTURE
-  PULL DOWN LIGHT
-  EXHAUST FAN
-  GAS
-  SMOKE ALARM DETECTOR
-  CARBON MONOXIDE DETECTOR
-  J. BOX
-  PENDANT LIGHT
-  DISCONNECT SWITCH
-  CHIME
-  DOOR BELL
-  110V. DUPLEX RECEPTACLE AT ATTIC
-  220V. OUTLET AT ATTIC

PLANS TO COMPLY WITH THE
2014 NEC --- National Electrical Code
& Applicable City of Dickson
Amendments Code Ordinances

WALL LEGEND

-  2 x 4 WALLS
-  2 x 6 WALLS

SMOKE DETECTORS SHALL BE
HARD-WIRED, INTER-CONNECTED,
WITH BATTERY BACK UP
AS PER THE I.R.C.



1 FLOOR PLAN & ELECTRICAL PLAN (PROPOSED)

SCALE = 1/4"=1'-0"

Electrical General Notes:

1. Electrical installation to be in accordance with the National Electrical Code
2. The electrical contractor is responsible for obtaining electrical permits and inspection.
3. Convenience receptacle - mount at 12" a.f.f.
4. Microwave - oven to have separate 20 AMP receptacle at 78" a.f.f .
5. Bathroom receptacle - GFI mount 40" a.f.f.
6. Receptacles in the garage to be GFI unless otherwise.
7. Exterior receptacles to be GFI and weather protected.
8. Washer - dryer to have separate 20 AMP duplex receptacle at 44" a.f.f.
9. Telephone Outlets - provide box (mount at 12" a.f.f. unless noted otherwise). Cover plate 4/0 wire Terminate near panel.
10. Kitchen counter and refrigerator receptacles and appliance switches mount at 44" a.f.f.
11. Switched - mount at 54" a.f.f.
12. Attic light switch mount at 84" a.f.f.
13. Contractor shall comply w/all local, state and federal codes required. And refer to owner for exact location of light fixtures and ceiling devices.
14. Contractor shall coordinate w/existing conditions at the site and furnish proper connections as required.
15. All conduits regardless of types which contain line Voltage conductors shall have a ground conductor sized in accordance with N.E.C.

KEYED NOTES:

1. LOCATE TELEVISION CABLE OUTLETS IN PAIRS (1) AT 18" AND (1) AT 72" HIGH VERIFY WITH CUSTOMER LOCATIONS AS REQUIRED
2. ALL EXTERIOR WALL LIGHTS FIXTURES CONTROLLED BY AN INTEGRAL PHOTO CELL

PROVIDE SAFETY GLAZING IN ALL SPECIFIC HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF IRC SECTION R308.

1 FLOOR PLAN & ELECTRICAL PLAN (PROPOSED)

SCALE = 3/16"=1'-0"



MTZ
MTZ CAD SERVICES INC.
2500 STRAWBERRY PASADENA TX 77502
AutoCAD DRAFTING
Tel: (713) 477-0559 Cell: (713) 419-0638

DESIGN & PLANNING SERVICES

ALL DRAWINGS HAVE BEEN REVIEWED AND COMPLY TO SUITE OWNER'S SPECIFICATIONS. ALL REASONABLE ATTEMPTS AND PRECAUTIONS HAVE BEEN MADE TO AVOID OWNER CONFLICT. THE OWNER AND/OR CONTRACTOR SHALL VERIFY AND APPROVE ALL DIMENSIONS, DETAILS AND SPECIFICATIONS BEFORE CONSTRUCTION MAY COMMENCE.
MTZ CAD RECOMMENDS THE OWNER/GEN. CONTRACTOR TO CONSULT WITH AN STRUCTURAL ENGINEER FOR ALL STRUCTURAL FRAMING OR FOUNDATION DESIGNS.



TEXAS INSTITUTE OF BUILDING DESIGN

Designer: Prisciliano Martinez

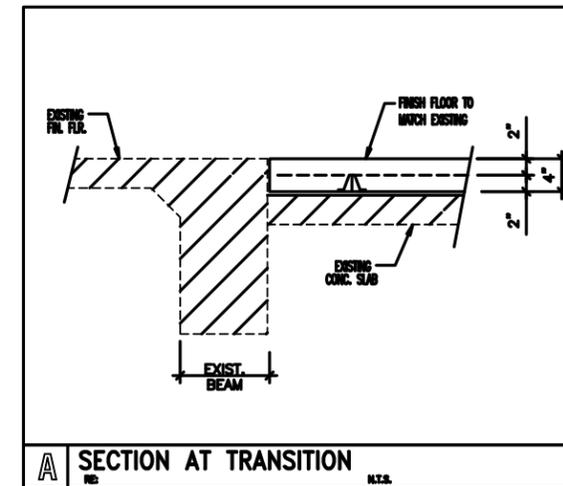
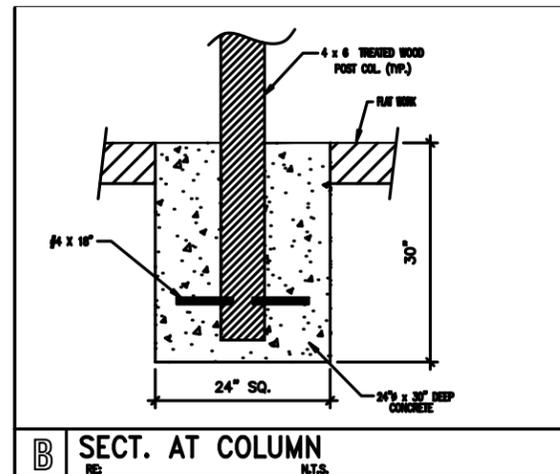
PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
ELECTRICAL PLAN FIRST LEVEL

A	02/07/18	PRELIMINARY PLANS

Date:	03/27/18	Drawn:	PM
Project No:	28037		
Sheet Title:	ELECTRICAL PLAN 1st LEVEL		
Sheet No:	E-1		

FOUNDATION NOTES:

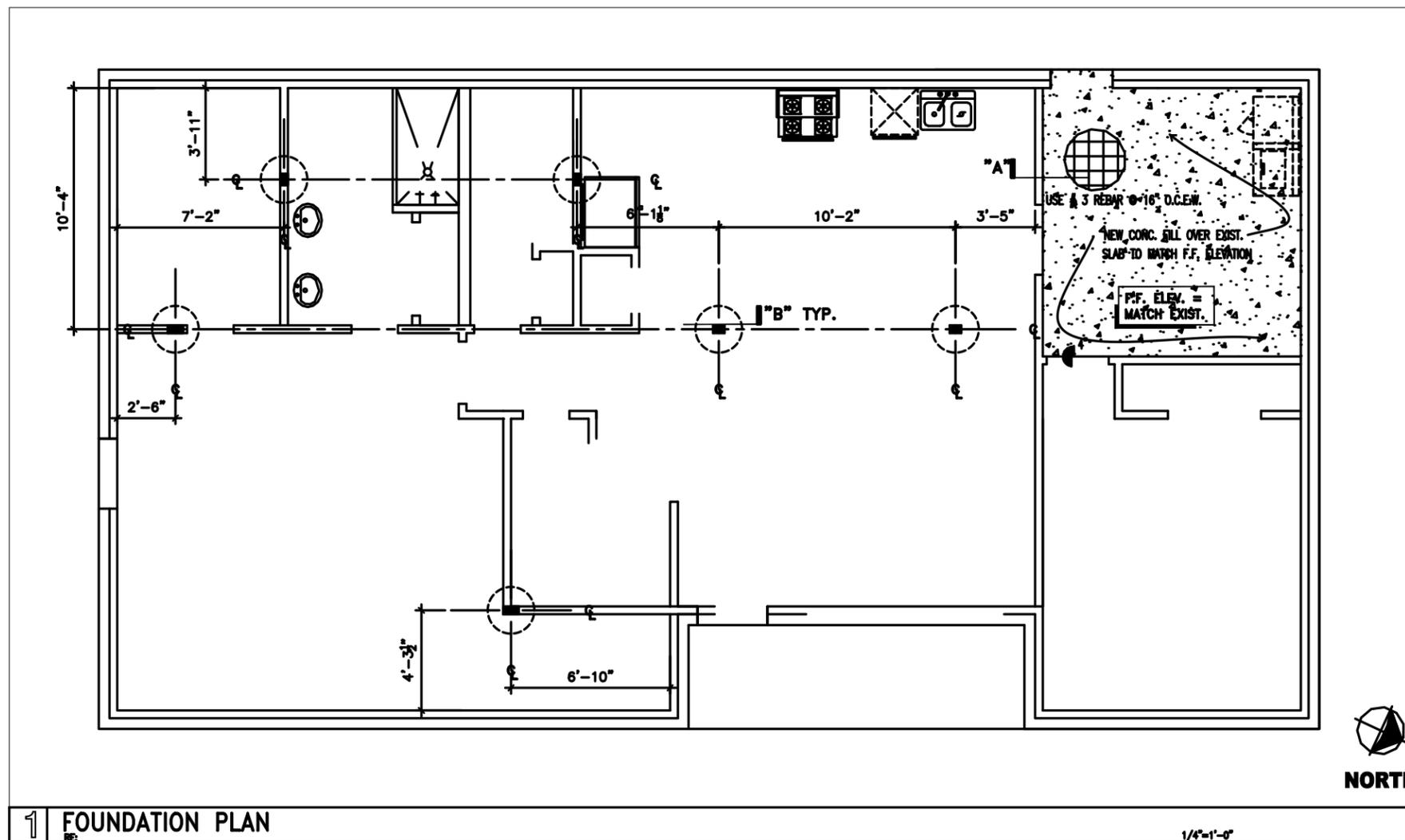
1. DO NOT POUR UNTIL DIMENSIONS ARE CHECKED W/ARCHITECTURAL DWGS. CONTRACTOR/OWNER IS RESPONSIBLE FOR THE CORRECT DIMENSIONS & RECESS LOCATION
2. CONTRACTOR PLEASE VERIFY ALL WALK DOOR
3. COORDINATE ALL DIMENSIONS RECESS AND DROPS W/ ARCHITECTURAL DWGS
4. SEE ARCHITECTURAL DWGS. FOR PLUMBING, EMBEDDED ITEMS, RECESSES UTILITIES ETC.
5. VERIFY FINISH FLOOR ELEVATION REQUIRED W/PROPER AUTHORITIES BEFORE PLACING CONCRETE FORMS
6. CONTRACTOR TO VERIFY ALL UTILITIES (UNDERGROUND OR AERIAL) AND OBTAIN APPROVAL FROM AUTHORITIES PRIOR TO POURING SLAB



WIND STRAP NOTES:

- ⊗ = HOLD DOWN ANCHORS
SIMPSON HTT-5, OR EQUAL
- HURRICANE CLIPS / TIES / STRAPS ON CONTINUOUS LOAD

MATCH EXISTING
FIN. FLOOR
CONTRACTOR/OWNER
PLEASE VERIFY
ALL DIMENSIONS



MTZ CAD SERVICES INC.
8000 WHEATLAND PARKWAY TX 77060
AutoCAD DRAFTING
Tel: (713) 477-0650 Cell: (713) 410-0650

DESIGN & PLANNING SERVICES

ALL DRAWINGS HAVE BEEN REVIEWED AND COMPLY TO SUITE OWNER'S SPECIFICATIONS. ALL RESPONSIBLE ATTEMPTS AND PRECAUTIONS HAVE BEEN MADE TO AVOID OTHER CONFLICT. THE OWNER AND/OR CONTRACTOR SHALL VERIFY AND APPROVE ALL DIMENSIONS, DETAILS AND SPECIFICATIONS BEFORE CONSTRUCTION MAY COMMENCE.
MTZ CAD RECOMMENDS THE OWNER/GEN. CONTRACTOR TO CONSULT WITH AN STRUCTURAL ENGINEER FOR ALL STRUCTURAL FRAMING OR FOUNDATION DESIGNS.



Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
FOUNDATION PLAN - SECTIONS DETAILS

A	02/07/18	PRELIMINARY PLANS
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Date:	03/27/18	Drawn:	PM
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Project No: 28037

Sheet Title:

FOUNDATION PLAN

Sheet No: F-1



MTZ CAD SERVICES INC.
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DESIGN & PLANNING SERVICES

ALL DRAWINGS HAVE BEEN REVIEWED AND COMPLY TO SUITE OWNER'S SPECIFICATIONS. ALL REASONABLE ATTEMPTS AND PRECAUTIONS HAVE BEEN MADE TO AVOID OWNER CONFLICT. THE OWNER AND/OR CONTRACTOR SHALL VERIFY AND APPROVE ALL DIMENSIONS, DETAILS AND SPECIFICATIONS BEFORE CONSTRUCTION MAY COMMENCE. MTZ CAD RECOMMENDS THE OWNER/GEN. CONTRACTOR TO CONSULT WITH AN STRUCTURAL ENGINEER FOR ALL STRUCTURAL FRAMING OR FOUNDATION DESIGNS.



Designer: Prisciliano Martinez

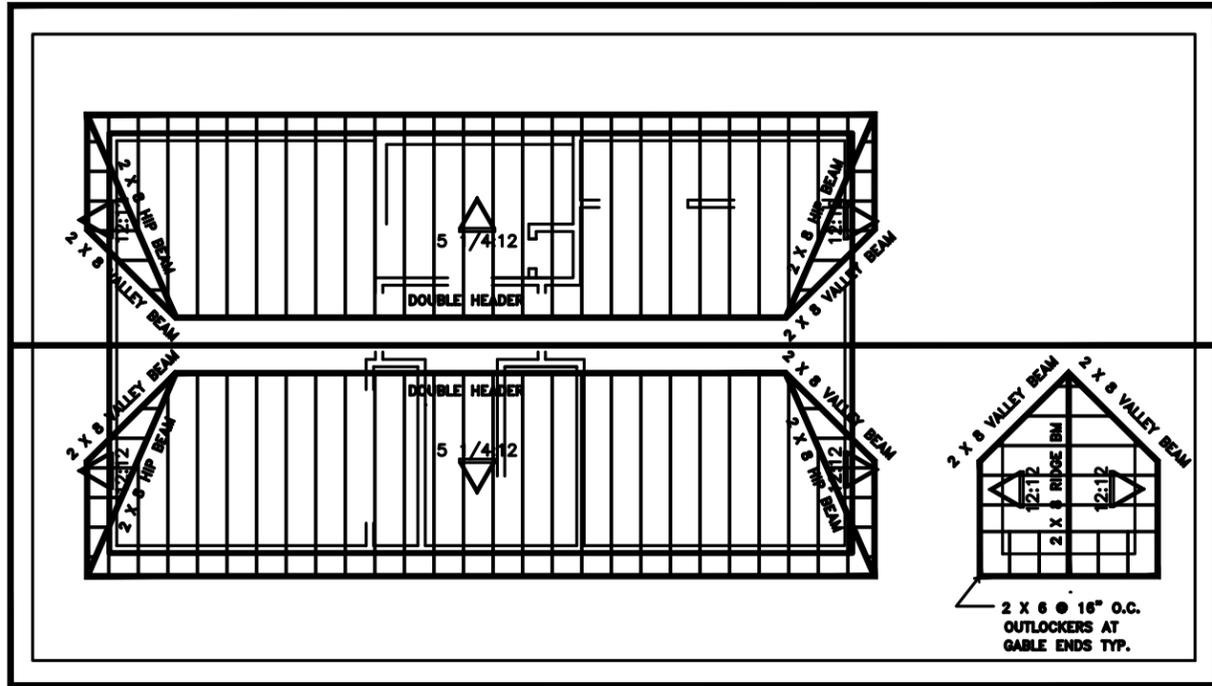
PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: RAUL & DANA HERNANDEZ
ADDRESS: 2718 OAK DR, DICKINSON TX. 77539
ROOF FRAMING PLAN

A	02/07/18	PRELIMINARY PLANS
Date:	05/27/18	Drawn: PM
Project No:	28037	
Sheet Title:	ROOF FRAMING PLAN	
Sheet No:	ST-2	

ALL RAFTERS
 2 x 6 SYP. #2
 @ 16" O.C.
 TYP. (U.O.N.)

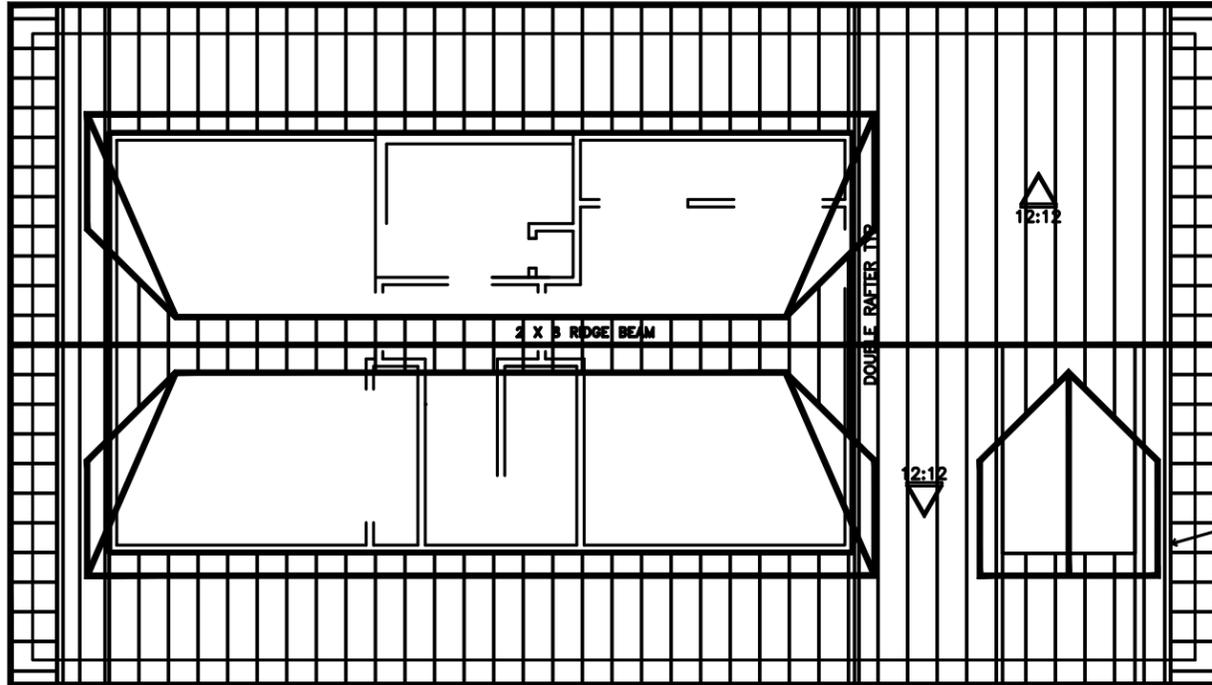
DESIGN FOR CITY OF DICKINSON

LIVE LOAD = 20 PSF. (ROOF)
 DEAD LOAD = 10 PSF. (ROOF)
 WIND LOAD = 140 MPH
 ULTIMATE WIND SPEED
 ALL FRAMING SHALL BE SYP. #2 GRADE
 OR BETTER (U.O.N.)



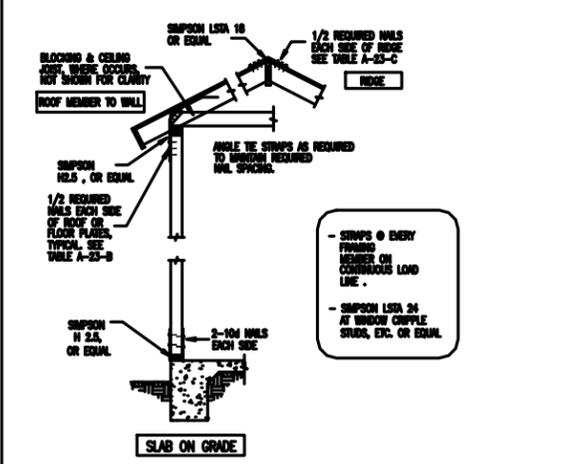
1 ROOF FRAMING PLAN

SCALE = 3/16"=1'-0"



1 ROOF FRAMING PLAN

SCALE = 3/16"=1'-0"



2 FIGURE A-23-1 COMPLETE LOAD PATH DETAILS (WIND STRAP SECTION)

BASIC WIND SPEED	LOCATION	NUMBER OF NAILS		
		B	C	D
X 1.81 FOR KNOTS				
140	ROOF TO WALL	10-10d	12-10d	12-10d
	FLOOR TO FLOOR	8-10d	10-10d	10-10d
	FLOOR TO FOUNDATION	6-10d	8-10d	8-10d

FOR FLOOR TO FOUNDATION ANCHORAGE, SEE SECTION 2305.5.4
 NUMBER OF COMMON NAILS LISTED IS TOTAL REQUIRED FOR EACH TIE STRAP. THE TIE STRAPS SHALL BE SPACED AT 48" ON CENTER ALONG THE LENGTH OF THE WALL. THE NUMBER OF NAILS ON EACH SIDE OF THE ROOF OR FLOOR PLATE JOINTS SHALL BE EQUAL. NAILS SHALL BE SPACED TO AVOID SPLITTING THE WOOD, SEE FIGURES A-23-1 FOR ILLUSTRATIONS OF THESE TIE STRAPS.

BASIC WIND SPEED	NUMBER OF NAILS		
	B	C	D
X 1.81 FOR KNOTS			
140	12-10d	14-10d	16-10d

NOTE: CORROSION RESISTANT STEEL TIE STRAP 1 1/8" X 0.036" (129MMx0.91MM) 0.036 INCH (0.91MM) (NO 20 GALVANIZED SHEET-GAGE) AS 48" (1219MM) ON CENTER TYPICAL.

ROOF NOTES:

- ALL SLOPES FROM FRONT TO BACK ELEVATIONS ARE SEE PLAN / 12 PITCH AND SHALL HAVE SEE OVERHANG FROM FRAME UNLESS NOTED OTHERWISE. TABLE
- ALL SLOPES FROM SIDE TO SIDE ELEVATIONS ARE SEE PLAN / 12 PITCH AND SHALL HAVE SEE OVERHANG FROM FRAME UNLESS NOTED OTHERWISE. TABLE
- ALL RAKE OVERHANGS SHALL BE SEE FROM FINISH WALL UNLESS NOTED OTHERWISE. TABLE
- ALL RAFTERS SHALL BE 2 x 6 @ 16" O.C. #2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS WITH VERTICAL SURFACES.
- GUTTERS AND DIVERTERS TO BE PROVIDED BY CONTRACTORS AS REQUIRED. (SEE CUSTOMER)
- CONTRACTORS SHALL PROVIDE ADEQUATE ATTIC VENTILATION PER BUILDING CODES THROUGH CONTINUOUS SOFFIT VENTS TO RIDGE OR TURBINE VENTS. VERIFY WITH OWNER.
- PROVIDE 2 x 6 PURLIN BRACING WITH 2 x 4 "T" COLUMN MINIMUM BRACED BACK TO LOAD BEARING WALL OR FLOAT BEAM.
- PROVIDE 2 x 6 COLLAR BEAMS @ EVERY OTHER RAFTER @ 3' TO 4' BELOW RIDGE LINE.
- ALL SHADED WALLS AND BEAMS TO BE LOAD BEARING & FRAMER TO TRANSFER BEARING POINTS TO FOUNDATION.
- RIDGE, HIP, AND VALLEY RAFTERS TO BE NEXT SIZE LARGER THAN CONNECTING MEMBER
- STUD WALLS 10' OR HIGHER SHALL HAVE 2 X 6, (2) 2 X 4 OR 4 X 4 STUDS AT 16" O.C. WALL SUPPORTING TWO FLOORS ABOVE SHALL BE 2 X 6, (2) 2 X 4 OR 4 X 4 STUDS AT 16" O.C.

WALL LEGEND



FRAMING NOTES:

- ALL BEAMS SYP. #2 OR BETTER
- ALL FRAMING SHALL BE SYP. #2 GRADE OR BETTER (U.O.N.)

OVERHANG TABLE:

6/12 PITCH: 24" OVERHANG FROM FRAME AT EAVES
 8/12 PITCH: 18" OVERHANG FROM FRAME AT EAVES
 10/12 PITCH: 14" OVERHANG FROM FRAME AT EAVES
 12/12 PITCH: 12" OVERHANG FROM FRAME AT EAVES
 (12" OVERHANG FROM FRAME AT GABLES ON ALL PITCHES)



DESIGN & PLANNING SERVICES
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Designer: Prisciliano Martinez

PROJECT: REMODEL TO AN EXISTING HOUSE
CUSTOMER: SANTIAGO DE LEON
2714 OAK DR, DICKINSON TX. 77539
WIND STORM STRUCTURAL DETAILS

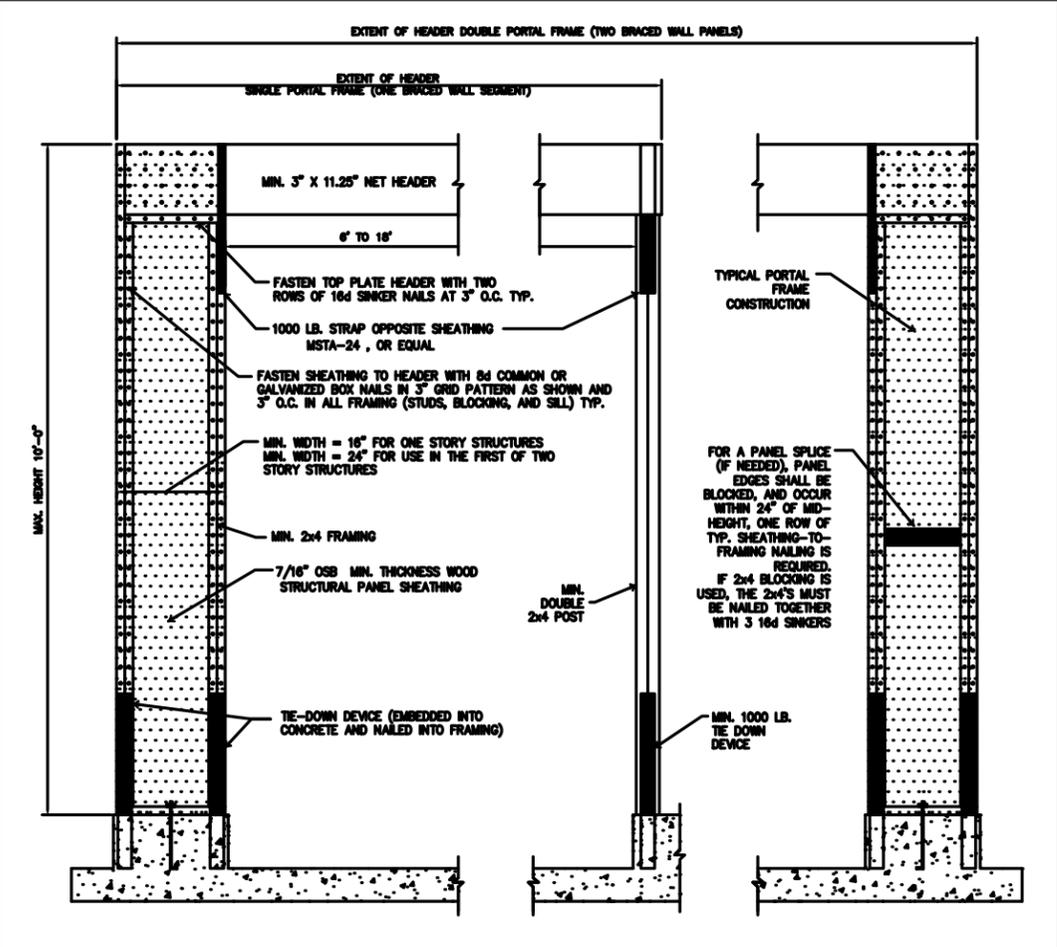
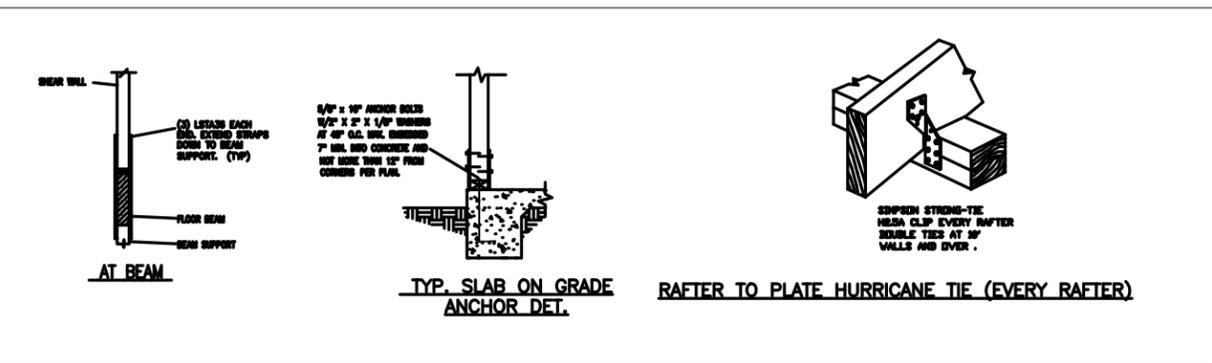
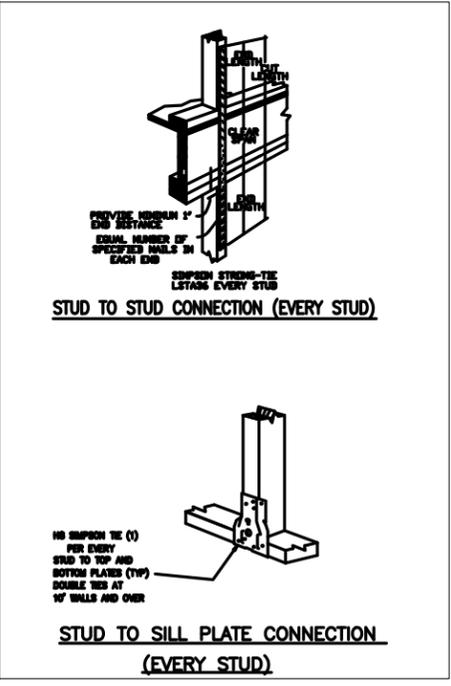
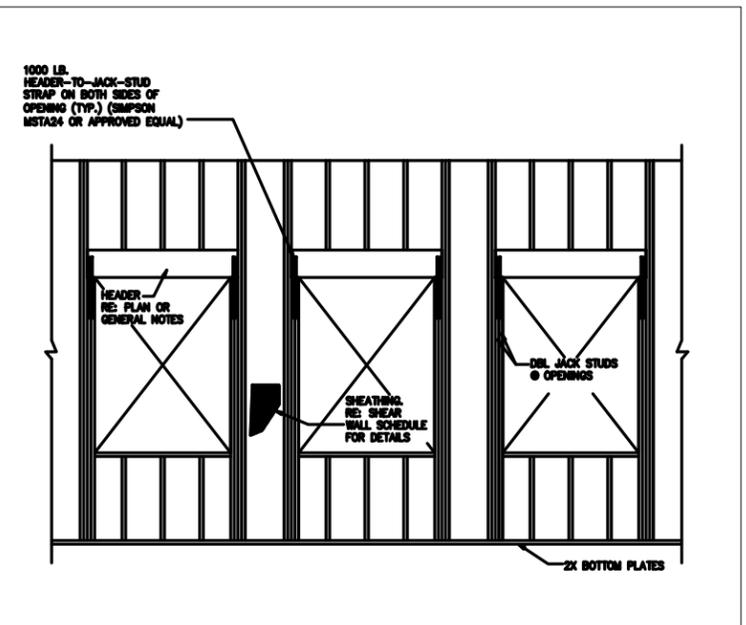
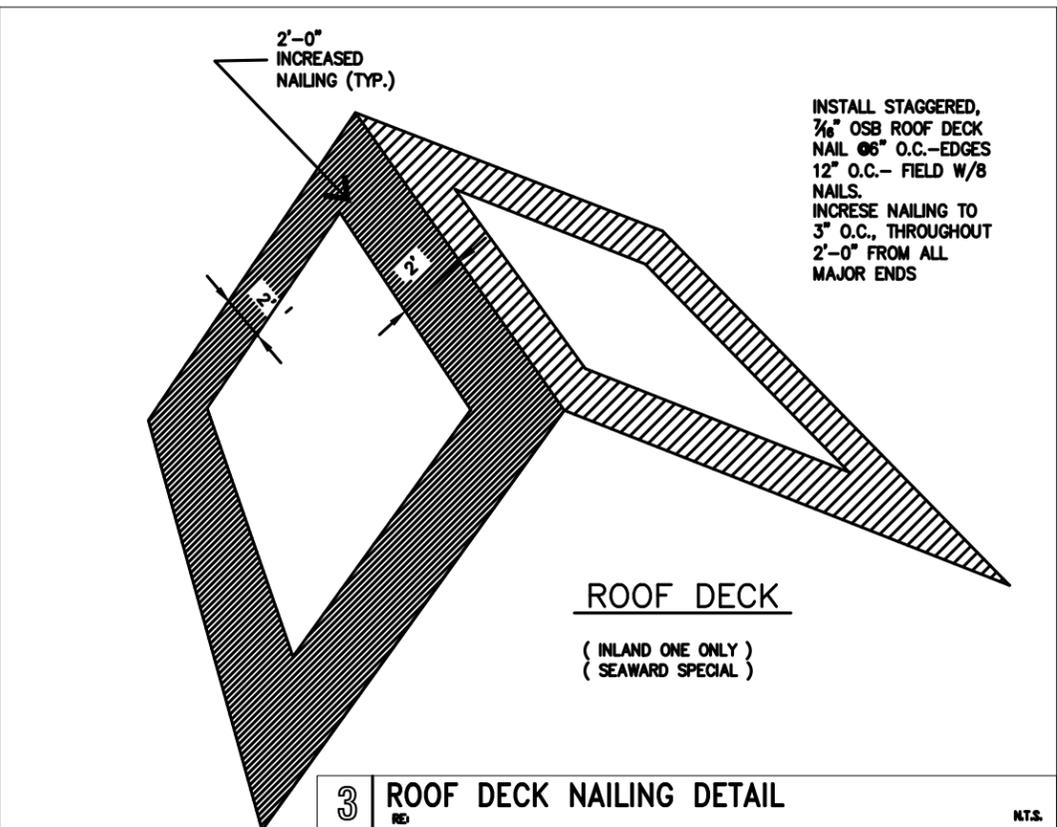
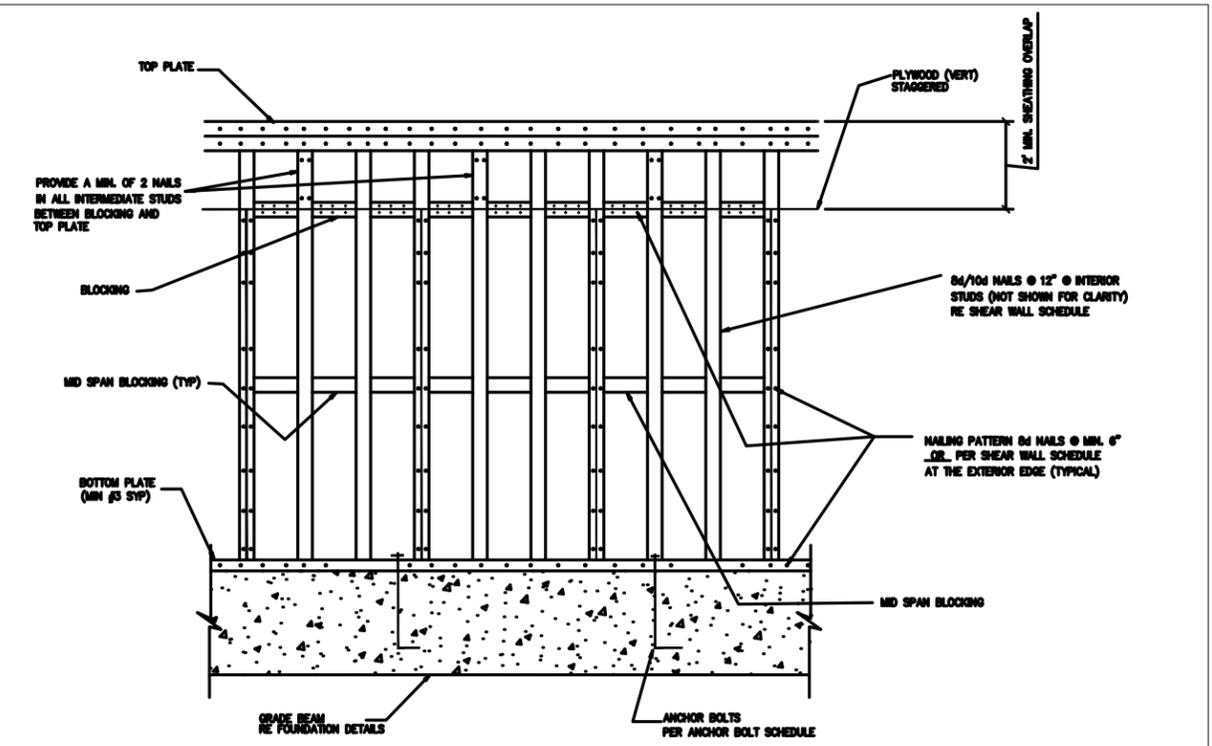
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1	02/28/18	FOR CONST.

Date: 02/07/18
 Drawn: PM

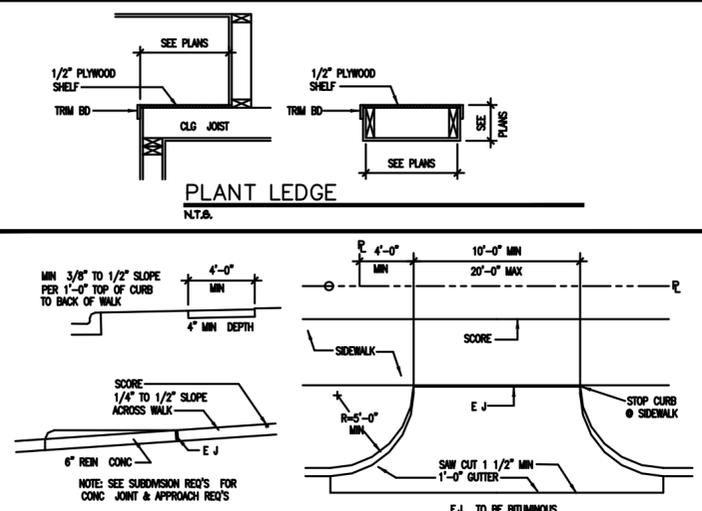
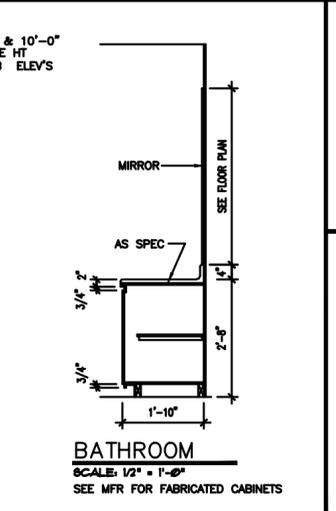
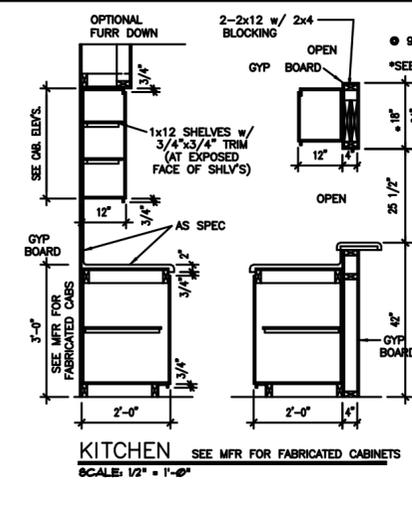
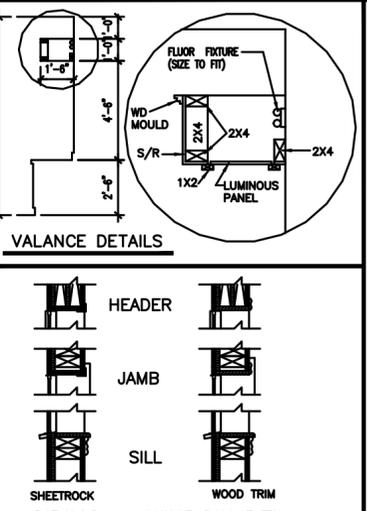
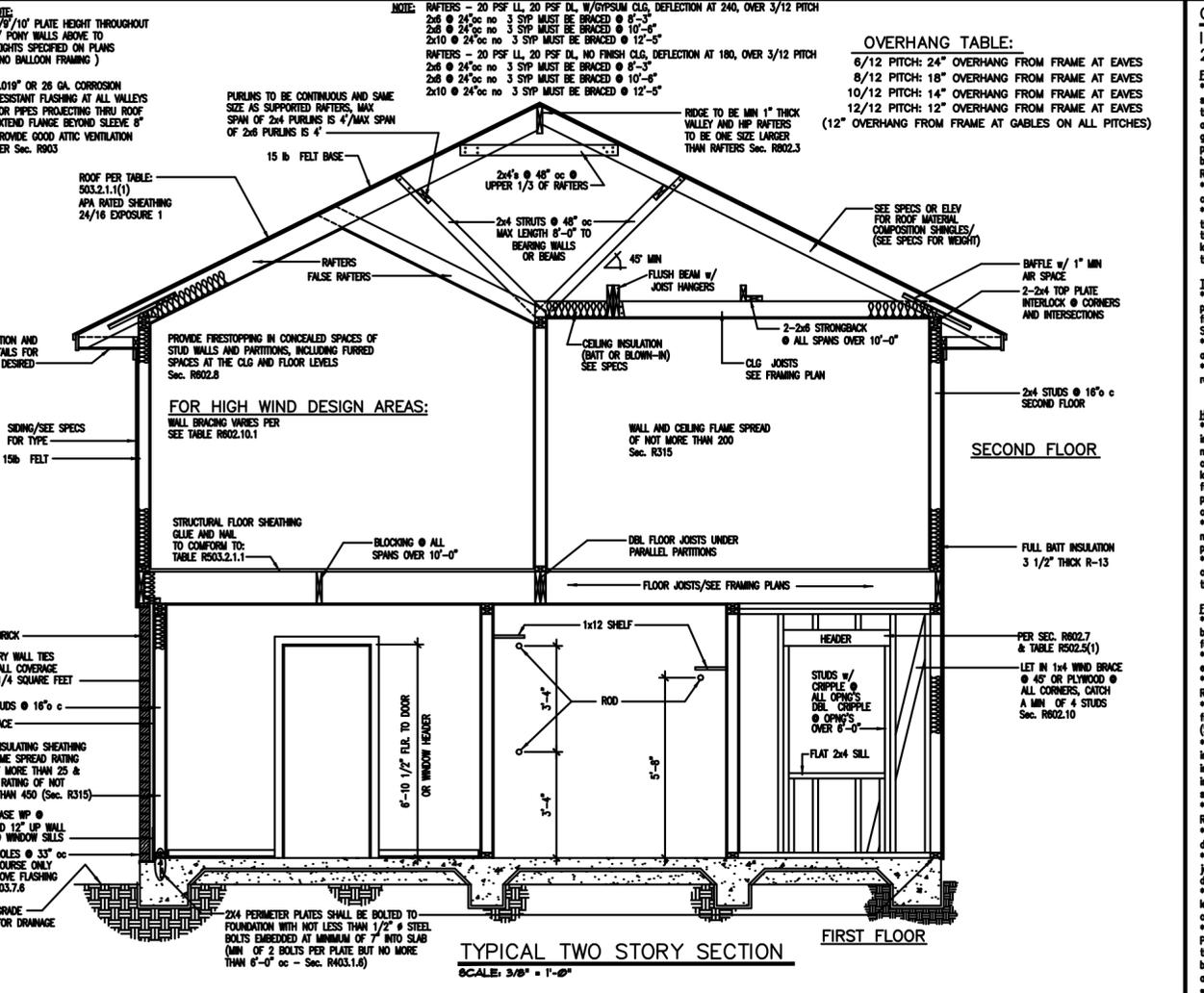
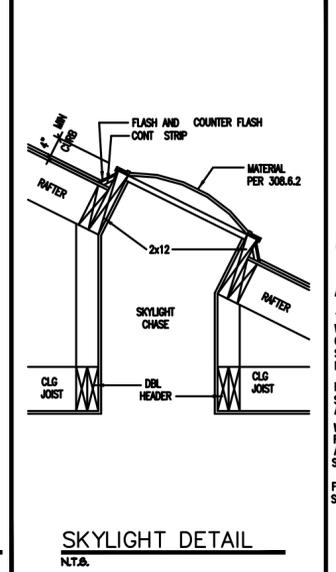
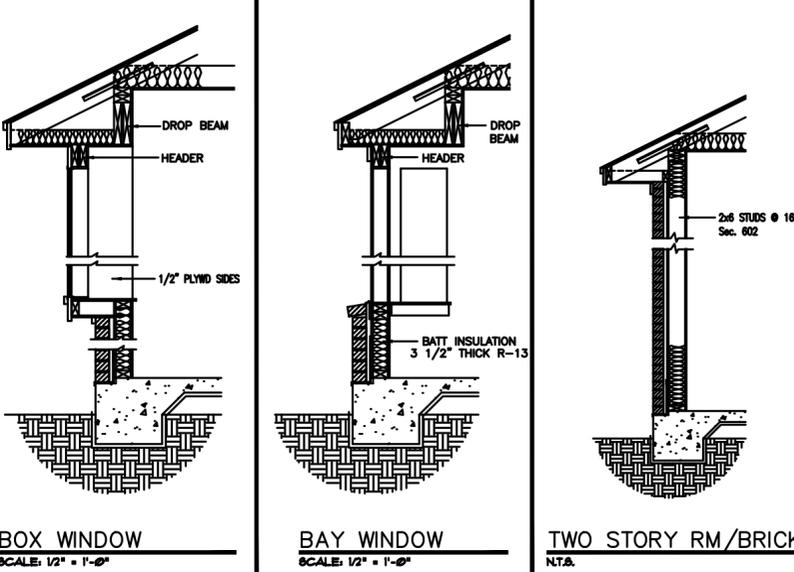
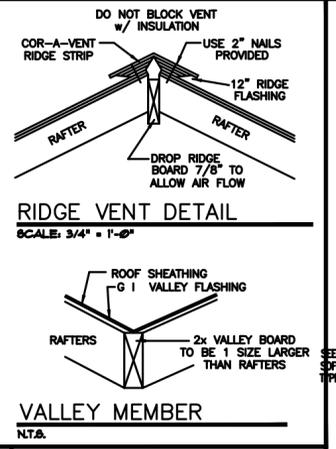
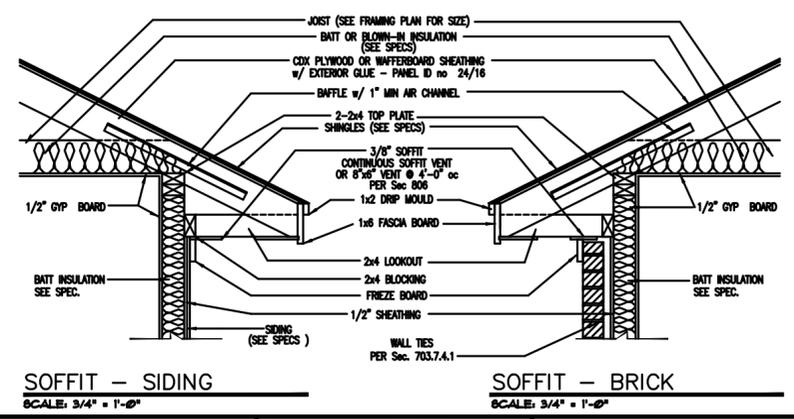
Project No: 28019

Sheet Title: **WIND STORM STRUCT. DETAILS**

Sheet No: **ST-3**

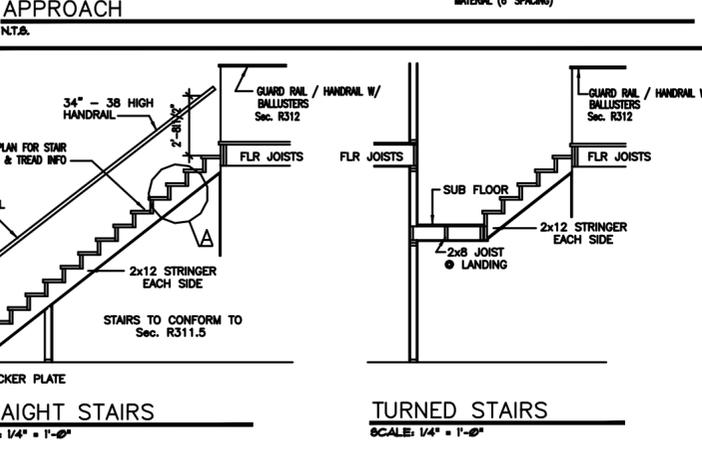
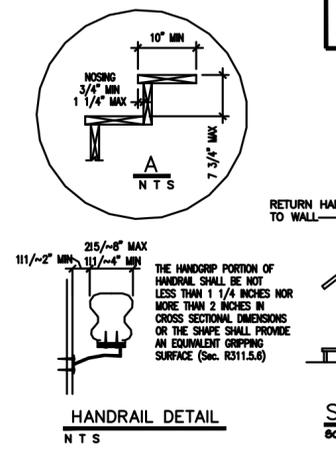
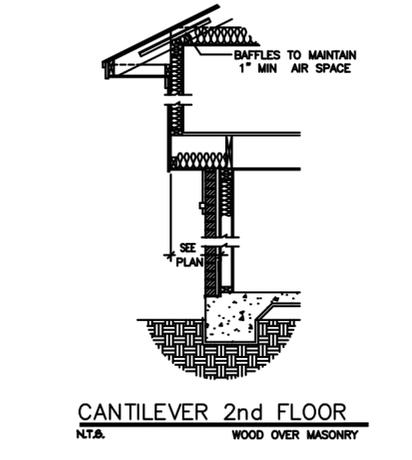
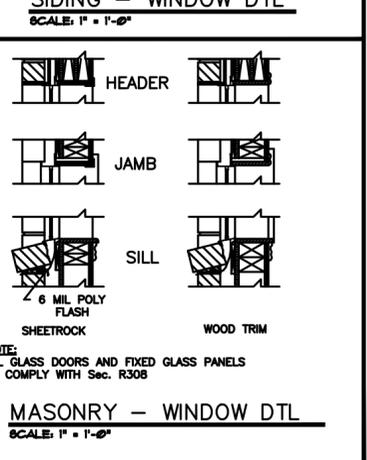


4 ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING
 RE: NTZ



NAIL SCHEDULE PER I.R.C. 2015 Sec. R602.3.(1)

CONNECTION	NAILING (abcd)
1. Joist to sill or girder, toenail	3-8d
2. Blocking between joists or rafters to top plate, toe nail	3-8d
3. 1" x 8" subfloor or joist to each joist, face nail	2-8d 2 staples, 1 3/4"
4. 2" subfloor to joist or girder, blind and face nail	2-16d
5. Sole plate to joist or blocking, face nail	16d at 16" c
6. Top or sole plate to stud, end nail	2-16d
7. Stud to sole plate, toe nail	3-8d, toenail or 2-16d, end nail
8. Double studs, face nail	10d at 24" c
9. Doubled top plates, face nail	10d at 24" c
10. Double top plates, legs and intersections, face nail	8-16, 4d offset
11. Continuous header, two pieces	16d at 16" c along each edge
12. Ceiling joists to plate, toenail	3-8d
13. Continuous header to stud, toenail	4-8d
14. Ceiling joists, lap over partitions, face nail	3-10d
15. Ceiling joists to parallel rafters, face nail	3-10d
16. Rafter to plate, toenail	2-16d
17. 1" x 8" brace to each stud and plate, face nail	2-8d 2 staples, 1 3/4"
18. 1" x 8" sheathing or less to each bearing, face nail	2-8d 2 staples, 1 3/4"
19. 1" x 8" sheathing or less to each bearing, face nail	3-8d 3 staples, 1 3/4"
20. Wider than 1" x 8" sheathing to each bearing, face nail	3-8d 4 staples, 1 3/4"
21. Built-up corner studs	10d at 24" c
22. Built-up girder and beams, 2-inch lumber layers	10d at 32" c at top and bottom and staggered 2-10d at ends and at each splice
25. 2" planks	2-16d at each bearing
26. Sole plate to joist or blocking at braced wall panels, face nail	3-16d at 16" c
27. Roof rafters to ridge, valley or hip rafters: toe nail	4-16d
face nail	3-16d
28. Rafters ties to rafters, face	3-8d



WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING, AND PARTICLE BOARD WALL SHEATHING TO FRAMING

BUILDING MATERIAL	DESCRIPTION OF FASTENER	EDGES ¹ (n)	INTERMEDIATE SUPPORTS ² (n)
5/16" - 1/2"	8d common nail (subfloor/wall)	6	12 9
	8d common nail (roof)	6	12 9
19/32" - 1"	8d common nail	6	12 9
	1 1/8" - 1 1/4" 10d common nail or 8d deformed nail	6	12 9
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING	3/4" and less	6	12
	8d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1 1/8" - 1 1/4"	10d common nail or 8d common nail	6	12

GENERAL NOTES PER:

INTERNATIONAL RESIDENTIAL CODE 2015 ONE & TWO FAMILY DWELLING

FOUNDATIONS

- Horizontal insulation placed not less than 12 inches (304 mm) below ground surface or that portions of horizontal insulation extending outward more than 24 inches (610 mm) from the foundation edge shall be protected against damage by use of a concrete slab or asphalt paving on the ground surface directly above the insulation or by cementitious board, plywood rated for below grade use, or other approved materials placed below ground, directly above the top surface of the insulation (Sec. R403.3.1).
- All foundation plates, sills and sleepers shall be pressure treated wood or foundation grade redwood (Sec. R319).
- Foundation joists or sills shall be bolted to the foundation with not less than 3/8 inch diameter steel bolts embedded in a minimum of 7 inches into the slab. There shall be a minimum of two bolts per plate with one bolt located within 12 inches of each end of each piece and spaced not more than 6 feet apart (Sec. R403.1.6).

TYPE OF CONSTRUCTION

- Where roof truss walls and partitions are covered on the interior with plaster, tile or similar materials and are subject to water splash, the framing shall be protected with approved waterproof paper conforming to Section 700.
- Showers shall walls shall be finished with a hard, nonabsorbent surface to a height of not less than 72 inches above the floor (Sec. R307.2).
- Glazing in shower and bathtub doors and enclosures shall be impact resistant per Section R308.

HANDRAILS AND GUARDRAILS

- Handrails having minimum and maximum heights of 34 inches and 38 inches (864 mm and 965 mm), respectively, measured vertically from the leading edge of the handrail to the top of the handrail on one side of stairways of three or more risers. Spiral stairways shall have the required handrail located on the outside radius. All required handrails shall be continuous the full length of the stairs, and shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrail.
- The handrail portion of handrails shall be not less than 1 1/2 inches nor more than 2 1/2 inches in cross sectional dimensions or the shape shall conform to equivalent gripping surface (Sec. R311.5.6).
- Open guardrails and stair railings shall have intermediate rails or a concentrated pattern such that a sphere 4 inches in diameter cannot pass through (Sec. R312.2).

FRAMING

- All exterior walls and main cross stud partitions shall be effectively braced at each end, or as near thereto as possible, and at least every 25 feet of length as specified in Section R602.10.
- All plywood designed to be exposed in outdoor applications shall be of exterior type as required.
- Joists under and parallel to bearing partitions shall be doubled (Sec. R502.4).
- Joists framing into the side of a wood girder shall be supported by framing anchors or on ledger strips not less than 2 inches by 2 inches (Sec. R502.6.2).
- The ends of each joist, beam or girder shall have a minimum of 1 1/2 inches (38 mm) of load bearing on wood or metal and a minimum of 3 inches (76 mm) on masonry or concrete except where supported on a 1 inch by 4 inch (25.4 mm by 102 mm) ribbon strip and nailed to adjacent stud or by the use of approved joist hangers.
- Joists shall be supported laterally at the ends and at each support (Sec. R502.7).
- Solid blocking shall be not less than 2 inches in thickness and the full depth of a 2x12 joist (Sec. R502.7.HH).
- Solid drawn rectangular lumber beams, rafters, and floor and ceiling joists shall be supported laterally to prevent rotation or lateral displacement in accordance with Section R502.7.
- All valleys and hips shall be a single valley or hip rafter not less than 2 inch nominal thickness and not less in depth than the cut end of the rafter (Sec. R602.3).
- Purlins shall be permitted to be installed to reduce the span of rafters. Purlins shall be sized no less than the required size of the rafters that they support. Purlins shall be continuous and shall be supported by 2 inch by 4 inch (51 mm by 102 mm) braces installed to load bearing walls of a slope not less than 45 degrees (0.79 rad) from horizontal. The braces shall be spaced not more than 4 feet (1219 mm) on center, and the unbraced length of braces shall not exceed 8 feet (2438 mm) (Sec. R602.5.1).

ATTIC ACCESS - DRAFT STOPS - VENTILATION

- Provide a permanent electric outlet and lighting fixture controlled by a switch located at the required attic access opening at or near the furnace (Sec. R807 & Sec. M1305).
- When determined necessary by the building official because of atmospheric or climatic conditions, enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilations for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh, with the least dimension being 1/8 inch (3.2 mm) (Sec. R808.1).
- An accessible attic access framed opening not less than 22 inches wide by 30 inches high (559 mm by 762 mm) shall be provided to any attic area having a clear height of over 30 inches (762 mm) (Sec. R807.1).
- Draftstopping. When there is usable space above and below the concealed space of a floor/ceiling assembly, draftstopping shall be installed so that the area of the concealed space does not exceed 1000 square feet (93 sqm). Draftstopping shall divide the concealed space into approximately equal areas. Draftstopping shall be provided in floor/ceiling assemblies under the following circumstances (Sec. R520.12):
 - Ceiling is suspended under the floor framing;
 - Floor framing is constructed of truss-type open-web or perforated members;
 - The assembly is enclosed by a floor membrane above and a ceiling membrane below.

FIRE PROTECTION

- Fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in wood-frame construction in the following locations (Sec. R602.10):
 - In concealed spaces of stud wall and partitions, including furred spaces, of the ceiling and floor level.
 - At all interconnections between concealed vertical and horizontal spaces that occur at soffits, drop ceilings, cove ceilings, etc.
 - In concealed spaces between stud joists at the top and bottom of the run; enclosed spaces under stairs comply to Sec. R311.2.2.
 - At openings around vents, pipes, ducts, chimneys and fireplaces at ceiling and floor level, with noncombustible materials.
- For the fireblocking of chimneys and fireplaces see Section R1001.16.
- Fireblocking of corners of a two-family dwelling is required at the line of dwelling unit separation.
- Materials as per Section R602.8.1.
- Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross section of the wall height of 16 inches (406 mm) measured vertically. Where piping conduit or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction (Sec. R602.8.1.1).
- The integrity of all fireblocks shall be maintained (Sec. R602.8.1.2).

WEATHER PROTECTION AND EXTERIOR SIDING

- All exterior walls shall be covered with approved materials designed and installed to provide a barrier against the weather and insects to enable environmental control of the interior spaces (Sec. R703.1).
- Asphalt-embedded felt, free from holes and weighing not less than 14 pounds per 100 square feet (0.683 kg/m²) shall comply with ASTM D226, approved weather-resistant material shall be applied over studs or sheathing of all exterior walls as required by Table R703.4. Sapped felt or material shall be applied horizontally with the upper layer lapped over the lower layer not less than 2 inches (51 mm) and where it occurs, felt shall be lapped not less than 6 inches (152 mm) (Sec. R703.2).

FINISH WORK

- All interior materials shall meet the flame spread and smoke development for all interior finishes indicated per Section R703.
- Wall interior and exterior wall coverings shall conform to Sections R701, R702, and R703.
- Minimum thickness and installation of gypsum board per Table R702.3.5.
- All interior walls shall be finished in accordance with Section R702.
- All exterior walls shall be installed as specified in Section R703.
- All exterior walls shall be installed as specified in Section R703.

FINISHES

- Masonry and factory built fireplaces and chimneys to be constructed per Sections R1001, R1002, R1003, R1004, & R1005.

NOTE: FOR ASPHALT SHINGLE APPLICATIONS SEE SECTION R905.2 FOR CELLULOSIC FIBER BOARD SHEATHING, SEE TABLE R602.3(1)

REV	DATE	ISSUED
1	02/28/18	FOR CONST.

TABULATIONS (BASE PLAN ONLY)

PROJECT:
RAUL & DANA
HERNANDEZ
House Remodeling
2718 OAK DR.
City/Jurisdiction
DICKINSON, TX
77539

INTERNATIONAL RESIDENTIAL CODE DETAILS
SHEET:
S-1



2718 Oak Drive

COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Address Affidavit

Section 18-20 #1 requires an affidavit stating the names and addresses of the persons to who notice was sent. This can be accomplished by adding a statement to the bottom of the list of addresses from the Galveston Central Appraisal District.

"I hereby certify notice was sent by certified mail, return receipt requested, to all property owners within 200'." (see attached address list)

Dana Hernandez
Signature
Date: 12-31-19

Dana Hernandez
Printed Name

ACKNOWLEDGMENT

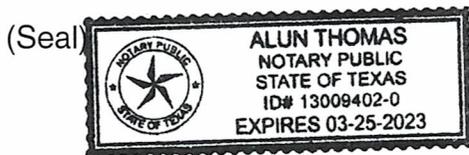
THE STATE OF Texas
COUNTY OF Galveston

§
§

BEFORE ME, the undersigned authority, on this day personally appeared Dana Hernandez, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

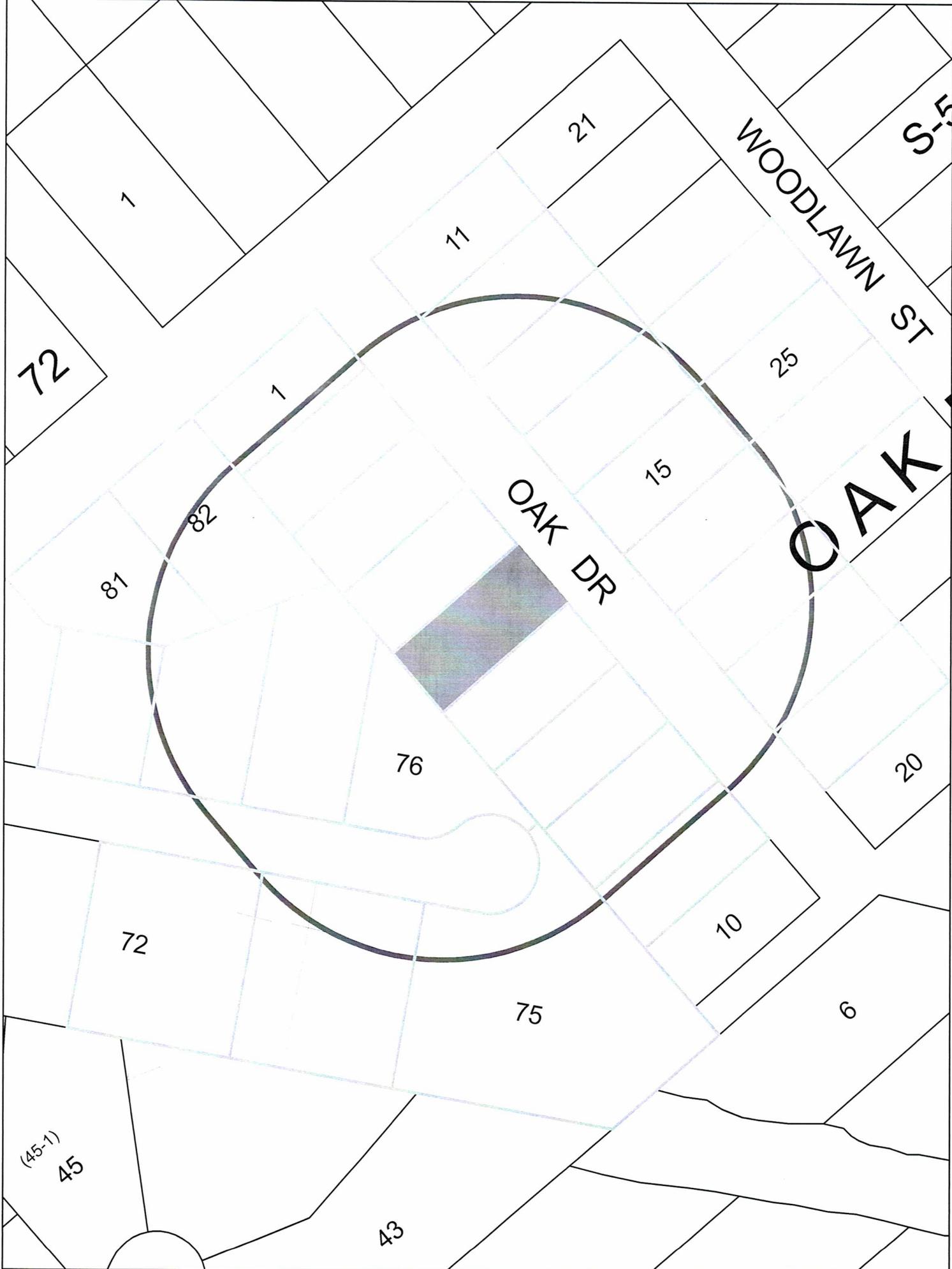
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 31st day of December 2019.

Alun W. Thomas



Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023



GEOID	ID	NAME
2740-0000-0074-000	162811	MORRISON CHARLSIE
2740-0000-0072-000	162809	TURNLEY TASCHA M & THOMAS B
2740-0000-0075-000	162812	TAYLOR CECELIA H
5405-0000-0009-000	166532	MARTINEZ PRIMO & FLORA
5405-0000-0008-000	166531	RIEFFER THOMAS R & RITA
5405-0000-0007-000	166530	LUND MICHAEL J
2740-0000-0076-000	162813	TROTТА ALBERT ANGELO ESTATE
2740-0000-0079-000	162816	WOOD JUDITH JOAN - LIFE ESTATE
5405-0000-0019-000	166542	BAIN WAYNE & AUDREY L
2740-0000-0078-000	162815	SOMERS MICHAEL & LISA
5405-0000-0006-000	166529	MCMAHAN CAPITAL LLC
2740-0000-0077-000	162814	DEATS WYNDELL H & MOLLY
5405-0000-0018-000	166541	MARTINEZ JOSE
5405-0000-0017-000	166540	SINCLAIR KIMERY A
2740-0000-0081-000	162818	HOWELL MARLIN L JR &
5405-0000-0004-000	166527	DELEON SANTIGO & MARICELA DELEON
5405-0000-0016-000	166539	BU HOMES LLC
5405-0000-0003-000	166526	WHITFIELD VERA JEAN
2740-0000-0082-000	162819	OWENS BETTY MILLER
5405-0000-0015-000	166538	SUMMERS JAMES D
5405-0000-0002-000	166525	BOONE JASON G
5405-0000-0026-000	166549	ANDERSON JUDITH LACY
5405-0000-0014-000	166537	P & C PROPERTIES LLC
5405-0000-0001-000	166524	GOLDEN PHYLIS AYERS
5405-0000-0025-000	166548	LEBLANC ANNETTE M
5405-0000-0013-000	166536	FORD M L I LLC
5405-0000-0024-000	166547	MARTIN WANDA J
5405-0000-0012-000	166535	LOUVIERRE LOUIS E & JACKIE E
5405-0000-0011-000	166534	SOLIZ STACIE A

ADDRESS

FELIX SILVA HERNANDEZ & DIANA GONZALES

ADDRESS2

2722 WILMINGTON DR
2714 WILMINGTON DR
2726 WILMINGTON DR
2814 OAK DR
2810 OAKS DR
5425 RANGER DR
LINDA C CASSANO IND EXECUTRIX
2705 WILMINGTON DR
2813 OAK DR
MARTINEZ-SOMERS
2913 SUMMER CAPE CT
2713 WILMINGTON DR
3902 REDSTEM CT
1714 20TH AVE N
CYNTHIA A
2714 OAK DR
103 EASTON GLEN LN
2710 OAK DR
FKA:B M SWARTZ
PO BOX 1594
919 MISTY CLIFF DR
2802 WOODLAWN ST
3417 WINDCREST CT
2702 OAK DR
2718 WOODLAWN ST
1118 BECKTON LN
2714 WOODLAWN ST
%JOHN R EVANS
2701 OAK DR

ADDRESS3	CITY	ST	ZIP	SITUS
	DICKINSON	TX	77539	2722 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4664	2726 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX		2814 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2810 OAK DR DICKINSON, TX 77539
	ROCKWALL	TX	75032	2806 OAK DR DICKINSON, TX 77539
12249 PINE LN	DICKINSON	TX	77539-9219	2717 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4663	2705 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX		2813 OAK DR DICKINSON, TX 77539
2709 WILMINGTON	DICKINSON	TX	77539	2709 WILMINGTON DR DICKINSON, TX 77539
	LEAGUE CITY	TX	77573	2802 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4663	2713 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2809 OAK DR DICKINSON, TX 77539
	TEXAS CITY	TX	77590	2805 OAK DR DICKINSON, TX 77539
1210 SUNSET DR	DICKINSON	TX	77539-4662	1210 SUNSET DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2801 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2710 OAK DR DICKINSON, TX 77539
1216 SUNSET DR	DICKINSON	TX	77539	1216 SUNSET DR DICKINSON, TX 77539
	DICKINSON	TX		2717 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2706 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2802 WOODLAWN ST DICKINSON, TX 77539
	PEARLAND	TX		2713 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2702 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2718 WOODLAWN ST DICKINSON, TX 77539
	PEARLAND	TX	77564	2709 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 WOODLAWN ST DICKINSON, TX 77539
4119 CROWNWOOD	SEABROOK	TX	77586	2705 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2701 OAK DR DICKINSON, TX 77539

LEGAL

ABST 19 PERRY & AUSTIN SUR LOT 74 & E 1/2 OF LOT 73 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 72 & W 1/2 OF LOT 73 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 75 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 9 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 8 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 7 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 76 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 79 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 19 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 78 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 6 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 77 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 18 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 17 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 81 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 4 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 16 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 3 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 82 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 15 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 2 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 26 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 14 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 1 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 25 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 13 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 24 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 12 OAK FOREST ADDN ***DEFERRAL***
ABST 19 PERRY & AUSTIN SUR LOT 11 OAK FOREST ADDN



COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Sign Affidavit

Section 18-20 #2 requires an affidavit verifying that the sign(s) were posted as required. The sign(s) must be posted at least 10 days before the public hearing.

"I hereby certify that the public hearing signs were posted at 2718 Oak Drive Dickinson, TX 77539, on 12-26, 2019, which is at least ten (10) days prior to the meeting of the Board of Adjustments at which the variance will be considered, and I understand that such public hearing signs must remain posted until final action on the requested application has been taken by the Dickinson City Council."

S.R. Burgess
Signature
Date: 12-30-19

S. R. Burgess
Printed Name

ACKNOWLEDGMENT

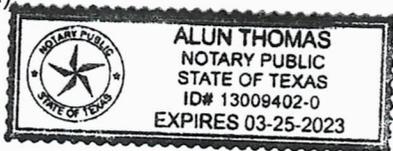
THE STATE OF Texas §
COUNTY OF Galveston §

BEFORE ME, the undersigned authority, on this day personally appeared S. R. Burgess, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 2019.

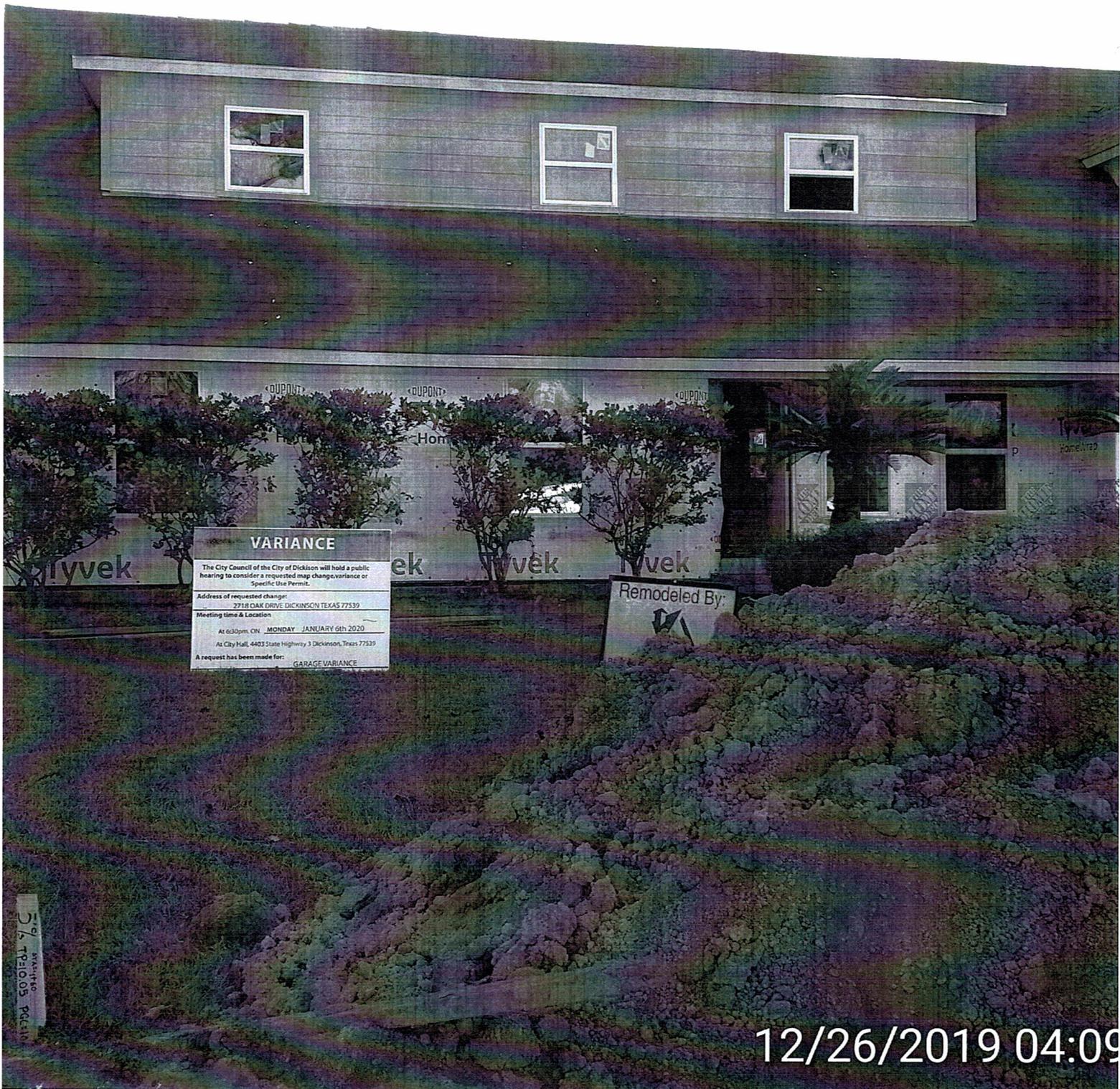
Alun W. Thomas

(Seal)



Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023



VARIANCE

The City Council of the City of Dickinson will hold a public hearing to consider a requested map change, variance or Specific Use Permit.

Address of requested change:
2718 OAK DRIVE DICKINSON TEXAS 77539

Meeting time & Location
At 6:30pm. ON **MONDAY JANUARY 6th 2020**
At City Hall, 4403 State Highway 3 Dickinson, Texas 77539

A request has been made for:
GARAGE VARIANCE

Remodeled By:



3/15
MAY 15 2019
RECEIVED

12/26/2019 04:09

Notice of Public Hearing

AFFP
PH -- 2718 Oak Drive

Affidavit of Publication

STATE OF TX }
COUNTY OF GALVESTON } SS

Donna Rhoades, being duly sworn, says:

That she is Donna Rhoades of the The Galveston County Daily News, a daily newspaper of general circulation, printed and published in Galveston, Galveston County, TX; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:
December 21, 2019

That said newspaper was regularly issued and circulated on those dates.

SIGNED:



Donna Rhoades

Subscribed to and sworn to me this 21st day of December 2019.



Melanie Perry, Notary Public, State of Texas, Galveston County, TX

My commission expires: August 02, 2022



13103514 00481525

CITY OF DICKINSON
4403 HWY 3
DICKINSON, TX 77539-

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200 feet of the property listed below regarding a Zoning Change Application. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

Address of Property:
2718 Oak Drive, Dickinson, TX. 77539

Legal Description:
Abst 19 Perry & Austin Sur Lot 5 Oak Forest Addn

Proposal:
Variance from Sec. 18-50 (4)(f) of the Zoning Ordinance, the request is to allow for the residential structure to be improved more than 50% of the appraised value and be exempted from the requirement of having a garage.

Meeting Date:
Monday, January 6th, 2020 At 6:30 p.m.

Meeting Location:
Council Chambers
4403 Highway 3
Dickinson, TX, 77539

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, Building Official at 281-337-8833.

Published: December 21, 2019
00481525

Board of Adjustments

ITEM 6

Board of Adjustments

ITEM 6

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: VAR-19-1115 , A Variance Request to Section 18-50(4)(f) of the Zoning Ordinance. The Request is to Allow for the Residential Structure to be improved more than Fifty (50) percent of the appraised value and be exempted from the requirement of having a garage, at 2718 Oak Drive, Dickinson, Texas 77539.
BACKGROUND:	In the previous agenda item, the Board of Adjustments conducted a public hearing concerning a variance request from the provisions of Chapter 18 Zoning, Article IV Zoning Districts, Section 18-50(4)(f).
RECOMMENDATION:	Staff Recommends Approval of the Variance Request
ATTACHMENTS:	<ul style="list-style-type: none"> • None
SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER

Board of Adjustments

ITEM 7

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1160, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear and front setback requirements, at 2504 46th Street, Dickinson, Texas 77539.
---------------	--

BACKGROUND:	This home is a part of the General Land Office's assistance program. The City of Dickinson Zoning Ordinance requires certain setback distances for buildings, but as noted on the application, the proposed project seeks to build closer to the property lines: Front setback: reduce from 25' to 20' Rear setback: reduce from 15' to 12'
--------------------	---

ATTACHMENTS:	<ul style="list-style-type: none"> • Variance Application • Photograph of the Property • Aerial Map • Floorplans • Address Affidavit • Sign Affidavit • Publication Affidavit
---------------------	--

SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development
--------------------------------	---

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER



Amateur Done
12/21/19

CAND
12-23-19

BOARD OF ADJUSTMENTS VARIANCE APPLICATION

PROPERTY INFORMATION

Property Address: 2504 46th ST DICKINSON TEXAS

Legal Description: A TRACT OF LAND CONTAINING 0.0840 ACRES (3,660 SQFT), SITUATED IN THE PRECINCT OF ANSTON SURVEY, ABSTRACT 19, GALV. CO. TX, BEING PART OF LOTS 13 + 14, IN BLOCK 8, OF THE WEEKES ADDITION ACCORDING TO THE PLAT RECORDED IN VOLUME 297, PG. 127.

Present district Zoning: CR

Variance Being Requested Description:
SET BACK VARIANCE

OWNER INFORMATION

Owner Name: SIXTO GONZALEZ Owner Phone#:

Address: 2504 46th ST DICKINSON TEXAS

City: DICKINSON State: TX Zip Code: 77539

APPLICANT/AGENT INFORMATION

Applicant Name: BARRY FERGUSON Applicant Phone#:

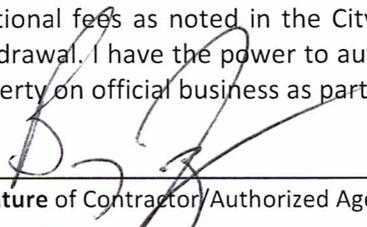
Address: 502 20th ST

City: GALVESTON State: TX Zip Code: 77550

*If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application*

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process

 Signature of Contractor/Authorized Agent

BARRY FERGUSON Printed Name

10/30/19 Application Date

FOR OFFICE USE ONLY

Variance Number#: VAR-19-1160 Fees Due\$: 525.00

Date was Submitted: 10/30/19 Payment rcvd: via CK# 39776

Reviewer: _____ Date: _____ Approved Denied

Board Of Adjustments Meeting Date: _____ Approved Denied



BOARD OF ADJUSTMENTS VARIANCE APPLICATION REQUIREMENTS

Attach These Items With Completed Application:

167721

- Map from Central Appraisal District with 200' radius
- List of owners within 200' (from Central Appraisal District)
- Existing Site Plan
- Site Plan with Requested Variance Shown
- \$525.00 Fee

Submit Immediately *AFTER* Notices Have Been postmarked:

- Sign & Address Affidavit

Bring these items to the Board of Adjustment Meeting:

- Return receipts of mailed notice, including envelopes that are returned

What is a variance?

A variance is a deviation from the property development standards for the district where development is proposed.

Who may request a variance?

A variance may be requested by the owner of the property or another person having written, notarized authorization to act as the agent of the property owner.

How long does a variance request take?

Many factors influence the amount of time required to complete a variance request. A good estimate is 5-6 weeks from the pre-application conference. The Board of Adjustments has a Regular Meeting time of the First Monday of the month, however the Board of Adjustments does not meet on a regular basis, because of this fact please allow for time and consideration in an effort to ensure staff can have a quorum for the meetings.

How do I submit a request?

The City of Dickinson will supply the application form and staff will assist you in completing it. When several owners are involved, one person should be authorized (by notarized letter) to act as the signatory and applicant.

What is the cost of a variance request?

A non-refundable fee of \$525.00 must accompany a completed Board of Adjustment Variance application. In some instances, staff, the Planning & Zoning Commission or City Council may require technical studies (engineering, noise, traffic, impact, etc.). The cost for these studies is borne by the applicant. The breakdown of the \$525.00 is as follows:

- \$250.00 Non-refundable Application Fee
- \$250.00 Newspaper Notice Fee
- 25.00/Variance Sign, to be placed every 200' of public street frontage



Image capture: Jun 2013 © 2019 Google

2504 46th Street

Dickinson, Texas



Street View



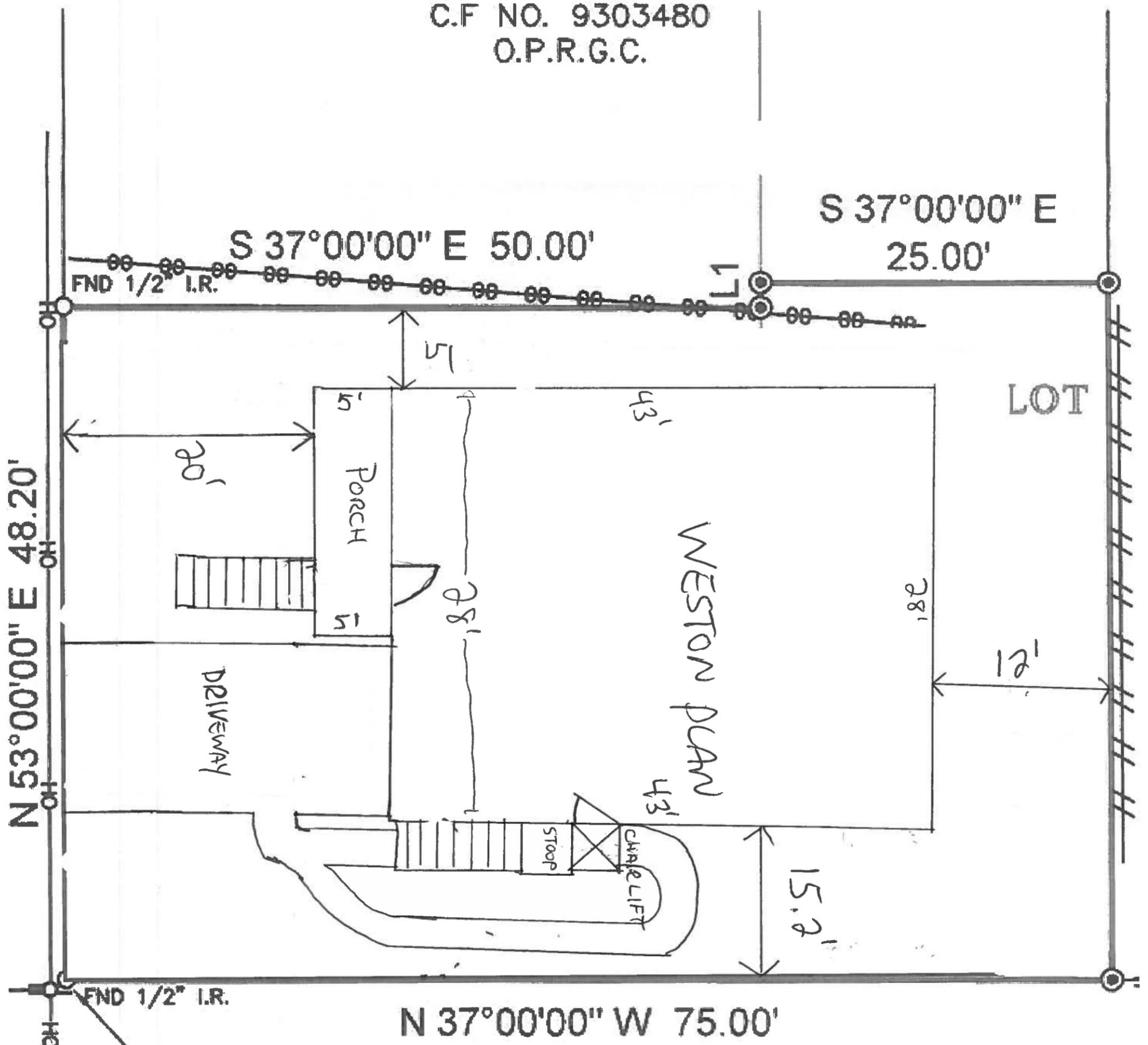
ickins



TX Orthoimagery Program, DigitalGlobe, Microsoft

2504 46th Street

JOSEPH L. LINKEY JR
C.F. NO. 9303480
O.P.R.G.C.



LOT

WESTON PLAN

DRIVEWAY

Porch

STOOP
CAR LIFT

P.O.B.

W CORNER OF LOT 14, BLOCK
B, OF WEEKES ADDITION TO
DICKINSON TEXAS
VOL. 14, PG. 64
M.R.G.C.

NEVADA STREET
(40' R.O.W.)

130A.

CONTINUOUS
RIDGE VENT

12
7

TOP WALL

12" O.H.

8'-0"

FIRST FLR
TOP WALL

8'-0"

12" O.H.

FRONT ELEVATION A



CONTINUOUS
RIDGE VENT

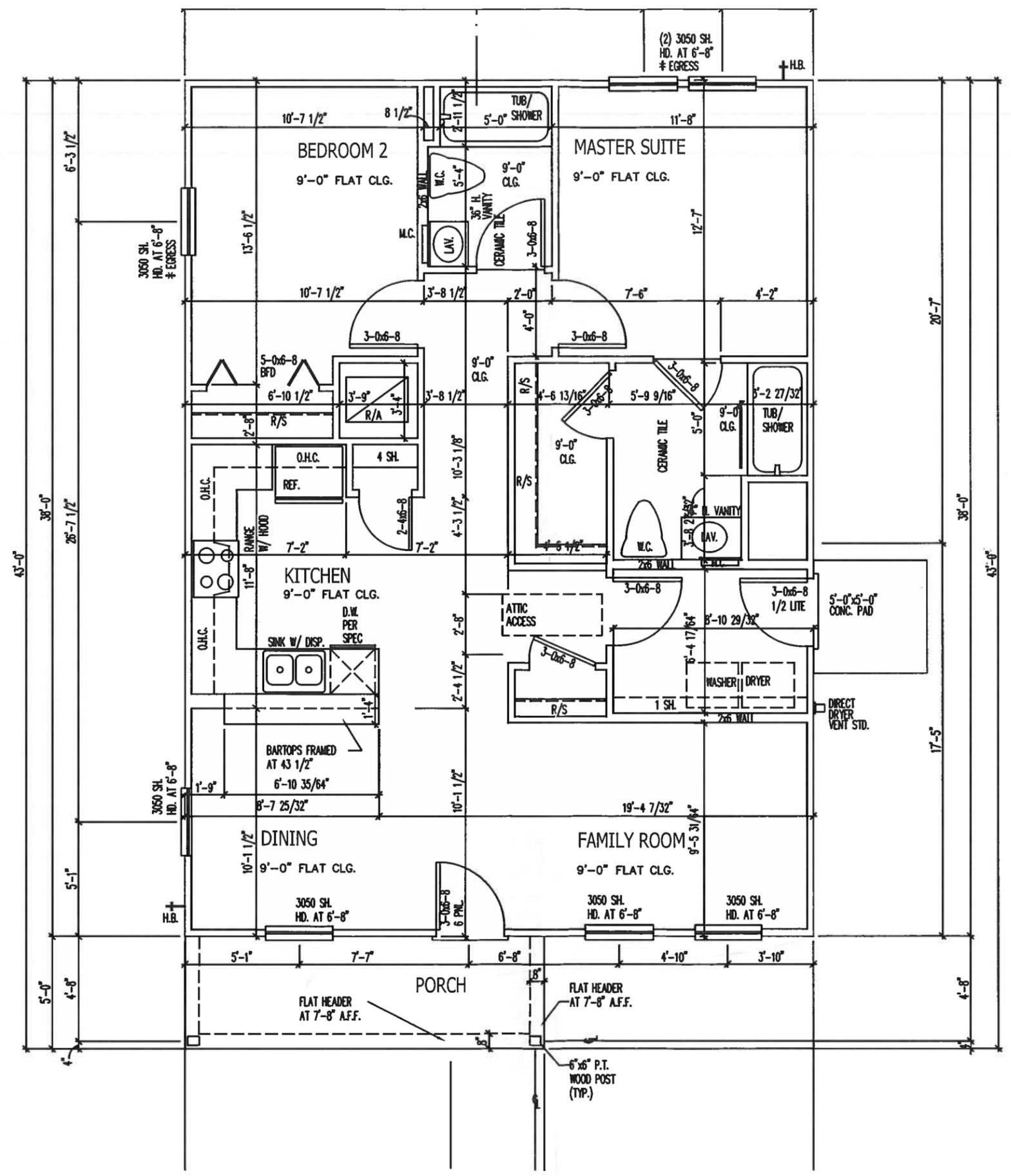


FRONT ELEVATION C



1'-0" TYP. OVERHANG

ROOF VENTILATION REQUIREMENTS	
TOTAL ATTIC SQ. FT.	1097
RIDGE VENT LENGTH REQUIRED	18 FT.
MIN. SOFFIT VENTILATION (NET FREE SQ. IN. AREA)	305 SQ. IN.
IN NO CASE SHOULD RIDGE EXHAUST VENT EXCEED THE AMOUNT OF SOFFIT VENTILATION	
G.C. VERIFY CALCULATIONS TO ENSURE PROPER RIDGE VENT LENGTH AND SOFFIT VENTILATION REQUIREMENTS	



ISSUE/REVISION

WECTON 1000



2504 46th Street

COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Address Affidavit

Section 18-20 #1 requires an affidavit stating the names and addresses of the persons to who notice was sent. This can be accomplished by adding a statement to the bottom of the list of addresses from the Galveston Central Appraisal District.

"I hereby certify notice was sent by certified mail, return receipt requested, to all property owners within 200'." (see attached address list)

Jason Halter

JASON HALTER

Signature

Printed Name

Date:

12/31/19

ACKNOWLEDGMENT

THE STATE OF Texas
COUNTY OF Galveston

§
§

BEFORE ME, the undersigned authority, on this day personally appeared Jason Halter, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

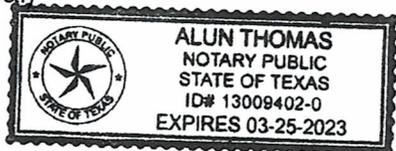
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 31st day of December 2019.

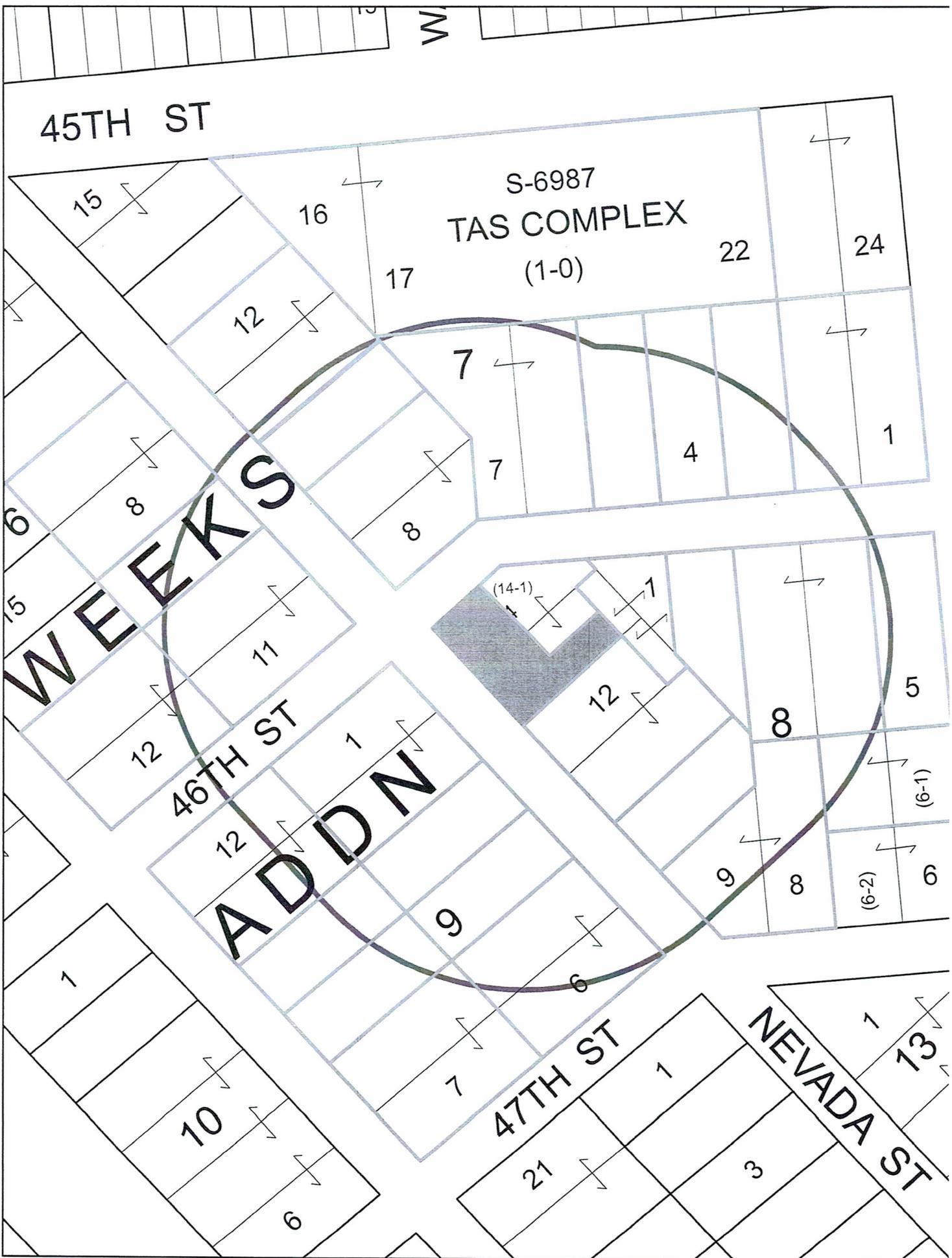
Alun W. Thomas

(Seal)

Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023





2504 46th Street

GEOID	ID	NAME	ADDRESS2
7425-0009-0007-000	167729	REYNA JUAN Jr	5108 FM 517
7425-0009-0009-000	510877	MARTINEZ JEREMY	4609 DAKOTA ST
7425-0009-0010-000	167730	HIGH SIERRA DEV CO LLC	3007 MASSENGALE LN
7425-0009-0005-000	167728	LAIRD MELBOURNE H & RUTH E	2415 47TH ST
7425-0009-0004-000	167727	HECKMAN PAMELA	4614 NEVADA ST
7425-0009-0011-000	167731	RENOVATO MARICELA	4603 DAKOTA
7425-0009-0003-000	167726	PALMER KATHRYN R & DAVID W	5022 CASA GRANDE ST
7425-0008-0008-000	167718	FISHER DEBORAH	2511 47TH ST
7425-0008-0006-001	167716	GRIBBLE MICHAEL	LIFE ESTATE
7425-0008-0010-000	167719	LAIRD KENNETH H & TERRI L	2304 LAKENHEATH DR
7425-0009-0001-000	167724	PARSHALL DONALD	4604 NEVADA ST
7425-0008-0011-000	167720	BONANZA EQUITY CREATION LLC	35 N OMEGA ST
7425-0006-0012-000	167686	COOPER EDWARD & BARBARA	4559 DAKOTA ST
7425-0008-0014-001	167722	LINKEY JOSEPH L JR	2508 46TH ST
7425-0008-0001-000	167712	FORREST ANGELA	3122 AVENUE H
7425-0008-0002-000	167713	JOHNSON SAMUEL	2612 46TH ST
7425-0008-0003-000	167714	DOKE JOSEPH T & SARAH E	806 COUNTY ROAD 4636
7425-0008-0005-000	167715	BRUES CHARLES T & JO ANNE	2624 46TH ST
7425-0006-0010-000	167685	DONOHUE RICHARD M & VICKI L	2415 46TH ST
7425-0006-0009-000	167684	GARCIA NATALIE	504 WILLOW POINTE DR
7425-0007-0008-000	167701	CORTEZ ROGELIO	2903 WYOMING AVE
7425-0006-0007-000	167682	FRAZIER JOHN RANDOLPH	4528 NEVADA ST
7425-0007-0010-000	167702	VASQUEZ JOSE & ROSA	4535 NEVADA ST
7425-0007-0006-000	167700	PRUNIER LLOYD A	2601 46TH ST
7425-0007-0005-000	167699	SHAHROODI SHAHROKH	11418 SAGECREEK DR
7425-0007-0004-000	167698	GREGORY WILLIAM F SR & GAIL R	2615 46TH ST
7425-0007-0003-000	167697	GREGORY WILLIAM F SR & GAIL R	2615 46TH ST
7425-0007-0001-000	167696	FLOYD JAMES	3226 N PARK DR
7425-0007-0012-000	167703	TREJO FULGENCIO & YOLANDA	4531 NEVADA ST
6987-0000-0001-000	521440	TEXAS AIR SERVICES INC	PO BOX 777

?

ADDRESS3	CITY	ST	ZIP	SITUS
	DICKINSON	TX	77539	
	DICKINSON	TX	77539	4609 DAKOTA ST DICKINSON, TX 77539
	WEBSTER	TX	77598	4605 DAKOTA ST DICKINSON, TX 77539
	DICKINSON	TX		2415 47TH ST DICKINSON, TX 77539
	DICKINSON	TX	77539	4614 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	4603 DAKOTA ST DICKINSON, TX 77539
	DICKINSON	TX		4612 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2511 47TH ST DICKINSON, TX 77539
4620 ILLINOIS ST	DICKINSON	TX	77539	4620 ILLINOIS ST DICKINSON, TX 77539
	DICKINSON	TX		4619 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX		4604 NEVADA ST DICKINSON, TX 77539
	LA MARQUE	TX		4611 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	4559 DAKOTA ST DICKINSON, TX 77539
	DICKINSON	TX		2508 46TH ST DICKINSON, TX 77539
	DICKINSON	TX		2602 46TH ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2612 46TH ST DICKINSON, TX 77539
	WINNSBORO	TX		2616 46TH ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2624 46TH ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2415 46TH ST DICKINSON, TX 77539
	LEAGUE CITY	TX	77573	4532 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2507 46TH ST DICKINSON, TX 77539
	DICKINSON	TX	77539	4528 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	4535 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2601 46TH ST DICKINSON, TX 77539
	HOUSTON	TX		2607 46TH ST DICKINSON, TX 77539
	DICKINSON	TX		2609 46TH ST DICKINSON, TX 77539
	DICKINSON	TX		2615 46TH ST DICKINSON, TX 77539
	MISSOURI CITY	TX	77459	2623 46TH ST DICKINSON, TX 77539
	DICKINSON	TX		4531 NEVADA ST DICKINSON, TX 77539
	DICKINSON	TX	77539	2606 45TH ST DICKINSON, TX 77539



COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Sign Affidavit

Section 18-20 #2 requires an affidavit verifying that the sign(s) were posted as required. The sign(s) must be posted at least 10 days before the public hearing.

"I hereby certify that the public hearing signs were posted at 2504 46th Street Dickinson, TX 77539, on 12-26-, 2019, which is at least ten (10) days prior to the meeting of the Board of Adjustments at which the variance will be considered, and I understand that such public hearing signs must remain posted until final action on the requested application has been taken by the Dickinson City Council."

S.R. Burgess
Signature
Date: 12-30-19

S.R. Burgess
Printed Name

ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Galveston §

BEFORE ME, the undersigned authority, on this day personally appeared S. R. Burgess, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

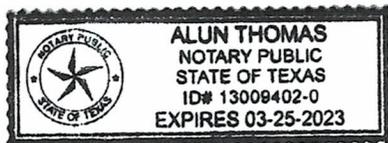
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 2019.

Alun W. Thomas

(Seal)

Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023



VARIANCE

The BOARD of ADJUSTMENTS OF THE City of Dickison will hold a public hearing to consider a requested map change, variance or Specific Use Permit.

Address of requested change:
2504 46TH STREET DICKINSON TEXAS 77539

Meeting time & Location
At 6:30pm. ON. **MONDAY JANUARY 6TH 2020**
At City Hall, 4403 State Highway 3 Dickinson, Texas 77539

A request has been made for:
VARIANCE TO REAR & FRONT SETBACK

12/26/2019 11:22

Notice of Public Hearing

AFFP

PH -- 2504 46th Street

Affidavit of Publication

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200 feet of the property listed below regarding a Zoning Change Application. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

STATE OF TX }
COUNTY OF GALVESTON } SS

Address of Property:
2504 46th Street, Dickinson, TX. 77539

Donna Rhoades, being duly sworn, says:

Legal Description:
Abst 19 Perry & Austin Pt of Lot 13 & All Lot 14 Blk 8 Weekes Addn

That she is Donna Rhoades of the The Galveston County Daily News, a daily newspaper of general circulation, printed and published in Galveston, Galveston County, TX; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:
December 21, 2019

Proposal:
Variance is to allow for a variance to the front & rear setback. The front variance is to be reduced to 20 ft. & the rear to 12 ft.

Meeting Date:
Monday, January 6th, 2020 At 6:30 p.m.

That said newspaper was regularly issued and circulated on those dates.
SIGNED:

Meeting Location:
Council Chambers
4403 Highway 3
Dickinson, TX, 77539



Donna Rhoades

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, Building Official at 281-337-8833.

Subscribed to and sworn to me this 21st day of December 2019.

Published: December 21, 2019
00481523


Melanie Perry, Notary Public, State of Texas, Galveston County, TX

My commission expires: August 02, 2022



13103514 00481523

CITY OF DICKINSON
4403 HWY 3
DICKINSON, TX 77539-

Board of Adjustments

ITEM 8

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: VAR-19-1160 , A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear and front setback requirements at 2504 46th Street, Dickinson, Texas 77539.
BACKGROUND:	In the previous agenda item, the Board of Adjustments conducted a public hearing concerning a variance request from the provisions of Chapter 18 Zoning, Article IV Zoning Districts, Section 18-50.
RECOMMENDATION:	Staff Recommends Approval of the Variance Request
ATTACHMENTS:	• None
SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER

Board of Adjustments

ITEM 9

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONDUCT A PUBLIC HEARING CONCERNING: VAR-19-1290, A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear, front, and side setback requirements at 4902 East 35th Street, Dickinson, Texas 77539.
---------------	---

BACKGROUND:	This home is a part of the General Land Office's assistance program. The City of Dickinson Zoning Ordinance requires certain setback distances for buildings, but as noted on the application, the proposed project seeks to build closer to the property lines: Front setback: reduce from 25' to 15'8" Rear setback: reduce from 15' to 5' Side setback (next to the street): reduce from 5' to 4'10"
--------------------	--

ATTACHMENTS:	<ul style="list-style-type: none"> • Variance Application • Aerial Map • Address Affidavit • Sign Affidavit • Publication Affidavit
---------------------	--

SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development
--------------------------------	---

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER

Attached 12-23-19 Josh



Community Development
City of Dickinson

BOARD OF ADJUSTMENTS VARIANCE APPLICATION

PROPERTY INFORMATION

Address: 4902 East 35th Street, Dickinson, TX 77539

Legal Description:
Subdivision: Nichols Stone Addition
Part(s) of Lot(s) 1+2, Block 280

Present Zoning: "CR" Conventional Residential

Variance Being Requested Description: The Lot is very small compared to the new home being built. We need a change on Build Lines so the home can fit respectively. I have outlined the whole idea in an attached word document. This home is part of the CLO Homeowner's assistance program.

OWNER INFORMATION

Owner Name: Patricia Rodriguez Phone #:

Address: 4902 East 35th Street

City: Dickinson State: TX Zip: 77539

APPLICANT/AGENT INFORMATION

Applicant Name: ALLCO LLC. Phone #:

Address: P.O. Box 3684

City: Beaumont, TX State: TX Zip: 77704

* If applicant is different than property owner a **Notarized Letter of Authorization** must be attached to the application

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process

 Joshua Winkelmann 12-18-19

Signature of Contractor/Authorized Agent Printed Name Date

FOR OFFICE USE ONLY

Variance Number: VAR-19-1290 Fees Due: \$525.00

Date Submitted: 12-18-19 Payment: CR # 010832

Reviewer: _____ Date: _____ Approved Denied

Board Of Adjustments Meeting Date: _____ Approved Denied

4902 East 35th Street:

For the home listed above we are needing to change variations on build lines to accommodate the new home that will need to go onto the lot. The lot itself is 37.5' x 70.0'. The home we will be putting back based off the program is 49' 1 1/2" x 27' 10". As discussed with the inspector for the city the build lines are set at 25' in the fronts, 15' on the back, 5' on the sides, and 10' on the corners. We can come close to the variations on the sides but the front and back will have some variance based off the new home being constructed.

We would like to change the variation on the back to 5' from the property line, we will go 5' on the side with property next to it. On the side next to the street we would like to go 4' 10" and on the front we will go 15' 8".

Now according to the program, we must have a handicap ramp on one side of the house with a ratio of 1 foot of ramp to every inch in rise. For the city we must have a garage and when I spoke with the inspector, he wants the garage under the home. Well for us to put a garage under the home we will have to elevate to approximately 10' into the air on pier and beam to have an enclosed garage with hydrostatic venting in the garage. We will also need to pour a slab around the pilings to have a safe parking pad. Now that we have raised the home 10' in the air we will need a large amount of ramp, which obviously will not fit onto the property due to the size due to the ratio of 1" in elevation we will need 1' of ramp. That would be approx. 120' of ramp to be installed forcing variations of practically 0' on the street side and back. We want to go to the program to install a lift instead of a ramp due to the restrictions, but we need to show them we have approved variances to build the home on the lot first before continuing.

We understand the city wants a uniform look to the properties but with this idea we will not have that uniformity so we must have approval from the city first then going forward to the general land office of Texas.

This is our proposed plan for this home and if the city approves it, we will take it to the program for approval too see if it is viable based off scope of work and payment.

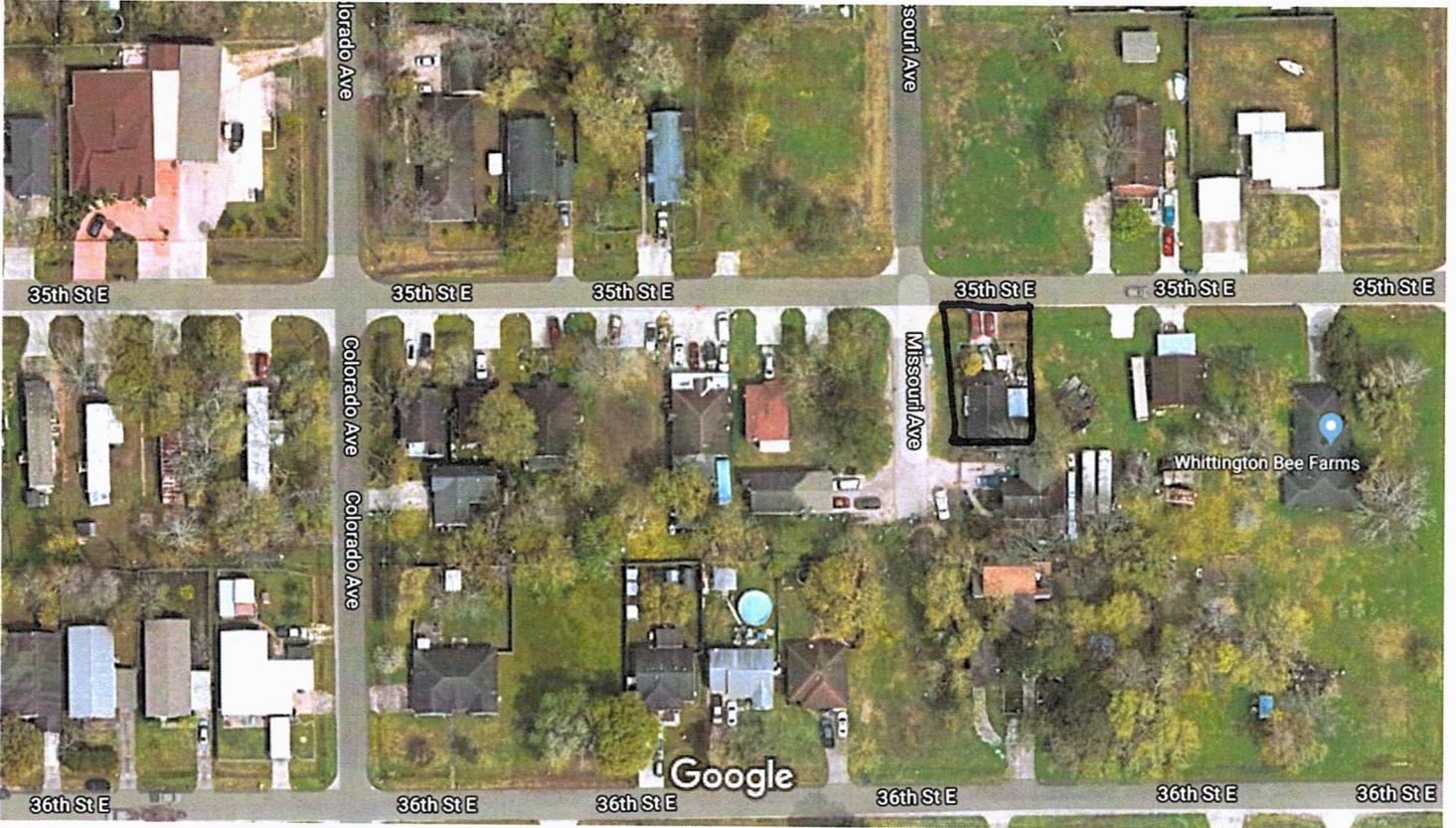
If there are any questions, comment, or concerns. Please Contact me 409-998-9173 or 713-367-0729 or email me at jwinkelman@allco.com

Galveston CAD



100ft

-95.039 29.449 Degrees



Imagery ©2019 Houston-Galveston Area Council, Maxar Technologies, Texas General Land Office, U.S. Geological Survey, Map data ©2019 50 ft

4902 35th Street



4902 E. 35th Street

COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Address Affidavit

Section 18-20 #1 requires an affidavit stating the names and addresses of the persons to who notice was sent. This can be accomplished by adding a statement to the bottom of the list of addresses from the Galveston Central Appraisal District.

"I hereby certify notice was sent by certified mail, return receipt requested, to all property owners within 200'." (see attached address list)

[Signature]
Signature
Date: 12-31-2019

Joshua Winkelmann
Printed Name

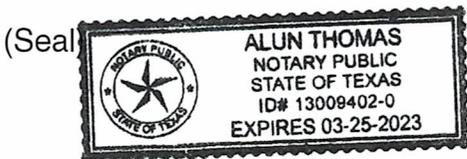
ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Galveston §

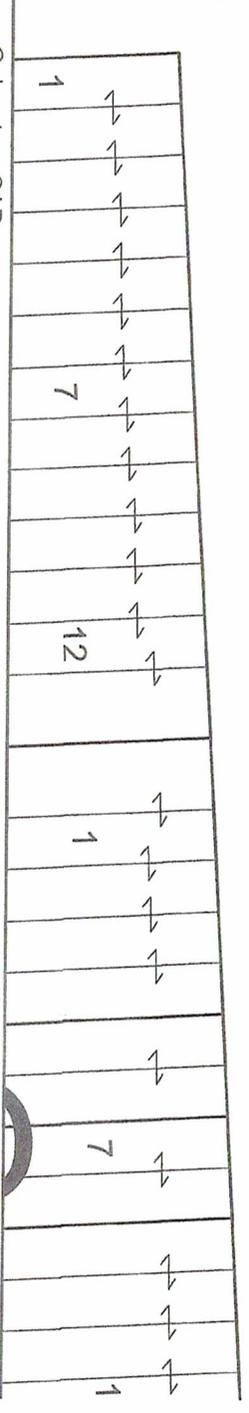
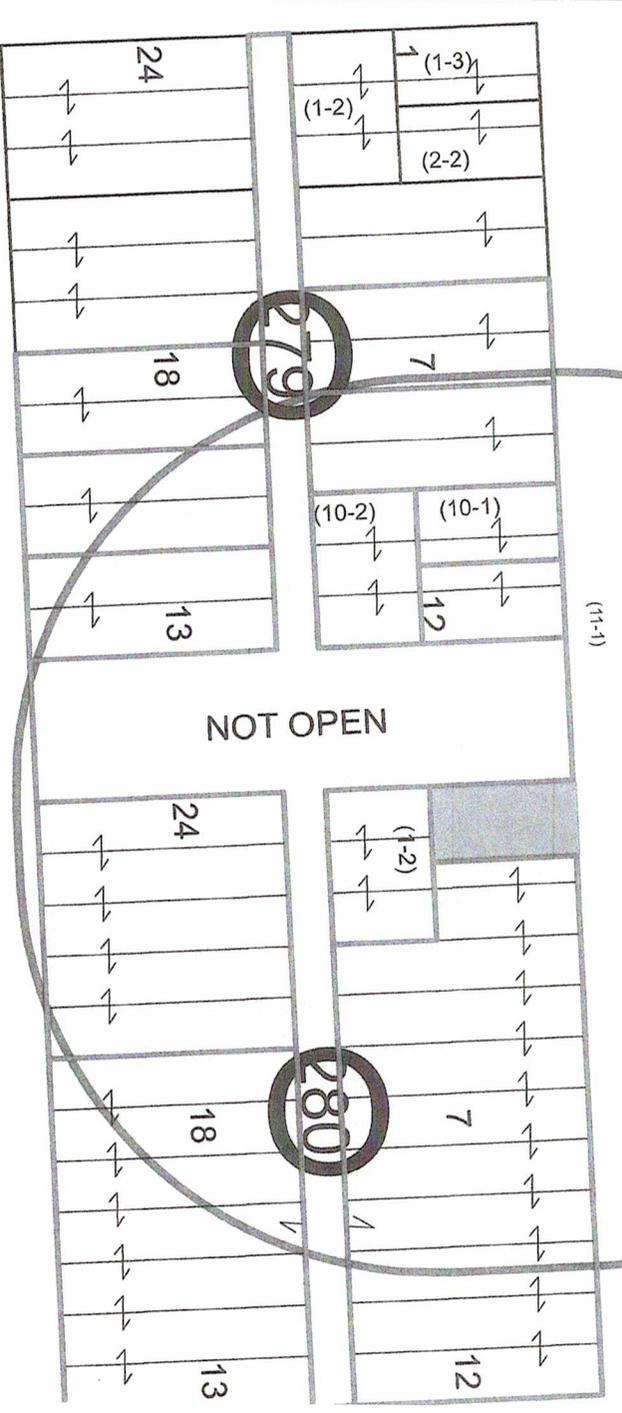
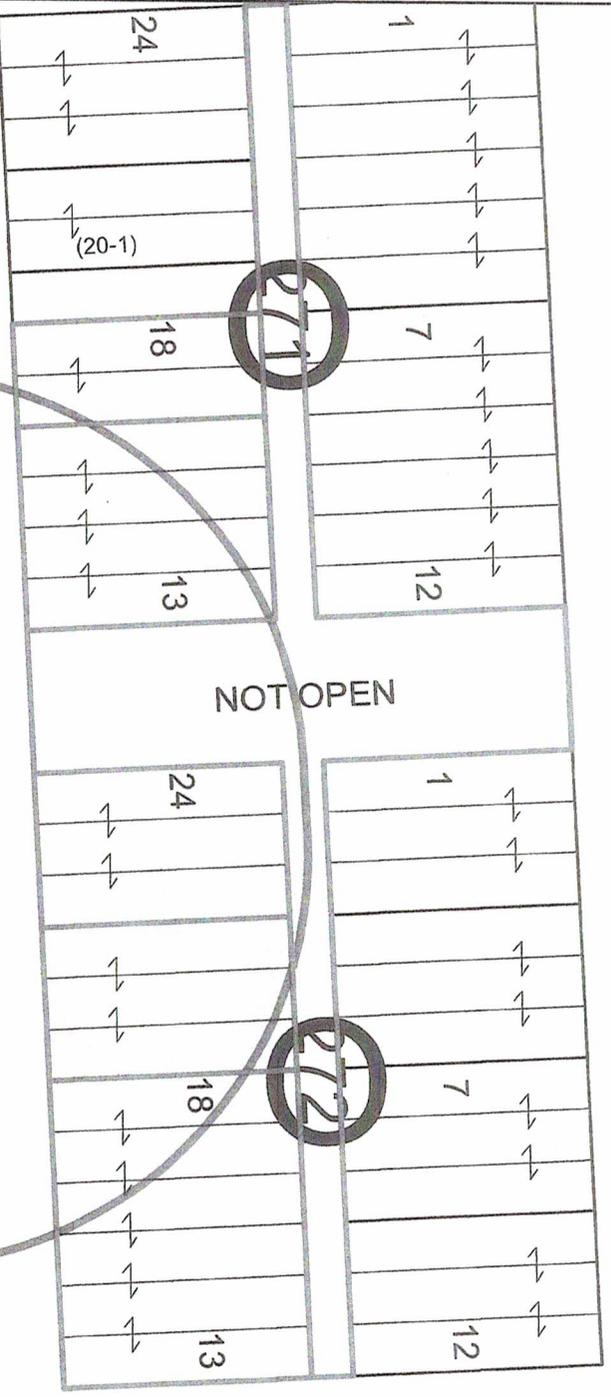
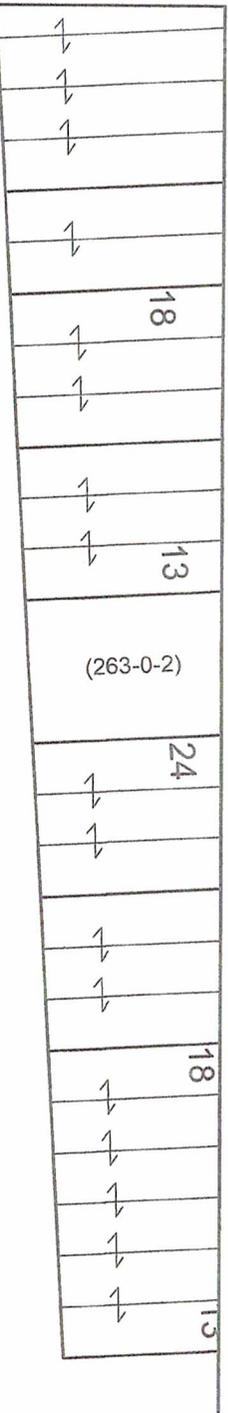
BEFORE ME, the undersigned authority, on this day personally appeared Joshua Winkelmann, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 31st day of December 2019.

[Signature]



Notary Public In and For the State of Texas
My Commission Expires: 3-25-2023



SITUS

4817 E 36TH ST DICKINSON, TX 77539

4821 E 36TH ST DICKINSON, TX 77539

4825 E 36TH ST DICKINSON, TX 77539

4901 E 36TH ST DICKINSON, TX 77539

3560 CALIFORNIA AVE DICKINSON, TX 77539

3512 MISSOURI AVE DICKINSON, TX 77539

3513 MISSOURI AVE DICKINSON, TX 77539

4812 E 35TH ST DICKINSON, TX 77539

4816 E 35TH ST DICKINSON, TX 77539

4822 E 35TH ST DICKINSON, TX 77539

4826 E 35TH ST DICKINSON, TX 77539

3560 CALIFORNIA AVE DICKINSON, TX 77539

4813 E 35TH ST DICKINSON, TX 77539

4821 E 35TH ST DICKINSON, TX 77539

4905 E 35TH ST DICKINSON, TX 77539

4911 E 35TH ST DICKINSON, TX 77539

4915 E 35TH ST DICKINSON, TX 77539

LEGAL

ABST 78 R HALL LOTS 17 & 18 BLK 279 NICHOLSTONE

ABST 78 R HALL LOTS 15 & 16 BLK 279 NICHOLSTONE

ABST 78 R HALL LOTS 13 & 14 BLK 279 NICHOLSTONE

ABST 78 R HALL LOTS 20 THRU 24 BLK 280 NICHOLSTONE ***DEFERRAL***

ABST 78 R HALL N 70 OF E 12.5 FT LOT 2 & N 70 FT LOT 3 & ALL LOTS 4 THRU 19 BLK 280 NICHOLSTONE ACS 1.162

ABST 78 PAGE 4 55 FT OF LOTS 10-12 (10-2) BLK 279 NICHOLSTONE

ABST 78 R HALL S 50 FT LOTS 1-2-3 BLK 280 NICHOLSTONE

ABST 78 PAGE 4 LOTS 6 & 7 BLK 279 NICHOLSTONE

ABST 78 PAGE 4 LOTS 8 & 9 BLK 279 NICHOLSTONE

ABST 78 PAGE 4 N 70 FT LOT 10 & W 1/2 OF N 70 FT OF LOT 11 (10-1) BLK 279 NICHOLSTONE

ABST 78 PAGE 4 N 70 FT OF LOT 12 & N 70 FT OF E 1/2 OF LOT 11 (11-1) BLK 279 NICHOLSTONE

ABST 78 R HALL N 70 OF E 12.5 FT LOT 2 & N 70 FT LOT 3 & ALL LOTS 4 THRU 19 BLK 280 NICHOLSTONE ACS 1.162

ABST 78 R HALL LOTS 17 & 18 BLK 271 NICHOLSTONE & IMPS

ABST 78 R HALL LOTS 13 THRU 16 BLK 271 NICHOLSTONE

ABST 78 R HALL LOTS 22-23 & 24 BLK 272 NICHOLSTONE S-D

ABST 78 R HALL LOT 19, 20 & 21 BLK 272 NICHOLSTONE

ABST 78 R HALL LOTS 13 THRU 18 BLK 272 NICHOLSTONE & IMPS

GEOD	ID	NAME	ADDRESS	CITY	ST	ZIP	STATUS	LEGAL
1	183558	NEWLIN DEBRAH K	4817 36TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 17 & 18 BLK 279 NICHOLSTONE
2	183557	GER DAVID A & CATHERINE	4821 E 36TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 14 & 16 BLK 279 NICHOLSTONE
3	183556	DARLING ARTHUR T JR &	CHERYL L R	DEERFIELD RCH	FL	39442		ABST 78 R HALL LOTS 13 & 14 BLK 279 NICHOLSTONE
4	183566	LOPEZ JORGE A	4801 E 36TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 20 THRU 24 BLK 280 NICHOLSTONE ***OFFERBAL***
5	183563	WHITTINGTON WILLIAM	PO BOX 521	DICKINSON	TX	77539		ABST 78 R HALL N 70 OF E 11 & FT LOT 3 & N 70 FT LOT 3 & ALL LOTS 4 THRU 19 BLK 280 NICHOLSTONE ACS 1.162
6	183134	ARANDA-MEDINA NICOLAS & VERONICA CONTRERAS-FEREZ	3512 MISSOURI AVE	DICKINSON	TX	77539		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 279 NICHOLSTONE
7	290063	ZAVALA GUADALUPE & ORALIA	3513 MISSOURI AVE	DICKINSON	TX	77539		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 280 NICHOLSTONE
8	183131	DELATORRE MARINA GARCIA	3487 MERIDIAN AVE	SAN DIEGO	CA	92115		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 279 NICHOLSTONE
9	183132	BARRAZA RIGOBERTO	4816 35TH ST	DICKINSON	TX	77539		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 279 NICHOLSTONE
10	183133	PIRMAN RICHARD L	7313 GULF FWY	HOUSTON	TX	77539		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 279 NICHOLSTONE
11	183563	WHITTINGTON WILLIAM	2611 CYPRESS CREEK PKWY STE A102	HOUSTON	TX	77539		ABST 78 R HALL S 50 FT OF LOTS 1-2-3 BLK 279 NICHOLSTONE
12	183526	RODRIGUEZ DOMINGO ZAMARRIPA & JUANA DE JESUS AZAMARO ROMO	PO BOX 521	DICKINSON	TX	77539		ABST 78 R HALL N 70 OF E 11 & FT LOT 3 & N 70 FT OF E 1/2 OF LOT 11 (11-1) BLK 279 NICHOLSTONE
13	183525	ZEPEDA-VASQUEZ RENEWALDO DAVID	4813 35TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 17 & 18 BLK 271 NICHOLSTONE & IMPS
14	183520	PIMENTEL SALVADOR	700 27TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 22-23 & 24 BLK 272 NICHOLSTONE S-D
15	183529	MIRELES LORETTA SOLIS	4911 35TH ST	DICKINSON	TX	77539		ABST 78 R HALL LOTS 19, 20, & 21 BLK 272 NICHOLSTONE
16	183533	WORSCHALL JAMES R	13717 6TH ST	SANTA FE	TX	77537		ABST 78 R HALL LOTS 13 THRU 18 BLK 272 NICHOLSTONE & IMPS



COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Sign Affidavit

Section 18-20 #2 requires an affidavit verifying that the sign(s) were posted as required. The sign(s) must be posted at least 10 days before the public hearing.

"I hereby certify that the public hearing signs were posted at 4902 E. 35th Street Dickinson, TX 77539, on 12-26, 2019, which is at least ten (10) days prior to the meeting of the Board of Adjustments at which the variance will be considered, and I understand that such public hearing signs must remain posted until final action on the requested application has been taken by the Dickinson City Council."

S.R. Burgess
Signature
Date: 12-30-19

S.R. Burgess
Printed Name

ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Galveston §

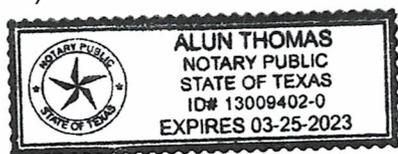
BEFORE ME, the undersigned authority, on this day personally appeared S.R. Burgess, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 2019.

Alun W. Thomas

(Seal)

Notary Public In and For the State of Texas



My Commission Expires: 3-25-2023

VARIANCE

The BOARD of ADJUSTMENTS OF THE City of Dickinson will hold a public hearing to consider a requested map change, variance or Specific Use Permit.

Address of requested changes
4902 East 35th ST, DICKINSON TEXAS 77539

Meeting time & Location
At 6:30pm, ON MONDAY JANUARY 6TH 2020

At City Hall, 4403 State Highway 3 Dickinson, Texas 77539

A request has been made for
BUILDING SETBACK FRONT, SIDE, REAR

12/26/2019 11:32

Notice of Public Hearing

AFFP

PH - 4902 E. 35th

Affidavit of Publication

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200 feet of the property listed below regarding a Zoning Change Application. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

STATE OF TX }
COUNTY OF GALVESTON } SS

Address of Property:
4902 E. 35th Street, Dickinson, TX. 77539

Donna Rhoades, being duly sworn, says:

Legal Description:
ABST 78 R HALL N 70 FT OF W 12.5 FT LOT 2 & N 70 FT OF LOT 1 BLK 280 NICHOLSTONE ACRS .0603 DIM 37.5 X 70

That she is Donna Rhoades of the The Galveston County Daily News, a daily newspaper of general circulation, printed and published in Galveston, Galveston County, TX; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:
December 21, 2019

Proposal:
Front Set Back, Corner Set Back and Rear Set Back

Meeting Date:
Monday, January 6th, 2020 At 6:30 p.m.

Meeting Location:
Council Chambers
4403 Highway 3
Dickinson, TX, 77539

That said newspaper was regularly issued and circulated on those dates.

SIGNED:

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, Building Official at 281-337-8833.



Donna Rhoades

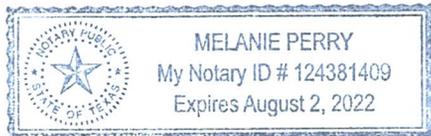
Subscribed to and sworn to me this 21st day of December 2019.

Published: December 21, 2019
00481520



Melanie Perry, Notary Public, State of Texas, Galveston County, TX

My commission expires: August 02, 2022



13103514 00481520

CITY OF DICKINSON
4403 HWY 3
DICKINSON, TX 77539-

Board of Adjustments

ITEM 10

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: VAR-19-1290 , A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the rear, front, and side setback requirements at 4902 East 35th Street, Dickinson, Texas 77539.
BACKGROUND:	In the previous agenda item, the Board of Adjustments conducted a public hearing concerning a variance request from the provisions of Chapter 18 Zoning, Article IV Zoning Districts, Section 18-50.
RECOMMENDATION:	Staff Recommends Approval of the Variance Request
ATTACHMENTS:	<ul style="list-style-type: none"> • None
SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER

Board of Adjustments

ITEM 11

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONDUCT A PUBLIC HEARING CONCERNING: A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the side setback requirements at 4306 East 31st Street, Dickinson, Texas 77539.
---------------	--

BACKGROUND:	This home is a part of the General Land Office’s assistance program. The City of Dickinson Zoning Ordinance requires certain setback distances for buildings, but as noted on the application, the proposed project seeks to build closer to the side property lines, reducing one side from 5’ to 3’ and installing a 2-hour firewall on the entire length of that side of the building.
--------------------	---

ATTACHMENTS:	<ul style="list-style-type: none"> • Variance Application • Aerial Map • Photograph of Property • Site Plan • Address Affidavit • Sign Affidavit • Publication Affidavit
---------------------	---

SUBMITTING STAFF MEMBER	S.R. Burgess, Interim Director of Community Development
--------------------------------	---

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER



Signature Doe
12/30/19

CANCELLED
12-23-19

BOARD OF ADJUSTMENTS VARIANCE APPLICATION

PROPERTY INFORMATION

Property Address: 4306 31ST STREET EAST, DICKINSON, TEXAS 77539

Legal Description:

ABSTRACT 78-ROBERT HALL SURVEY-LOT 4 BLOCK 242, NICHOLSTONE

Present district Zoning:

Variance Being Requested Description:

NEED TO SET NEW RESIDENTS ~~INSIDE~~ OUTSIDE OF THE 5' BUILDING BLINE @ 3'. INCLUDED A 2 HOUR FIRE WALL.

OWNER INFORMATION

Owner Name: MARIA CHACON-FLORES

Owner Phone#:

Address: 4306 31ST STREET EAST

City: DICKINSON

State: TX

Zip Code: 77539

APPLICANT/AGENT INFORMATION

Applicant Name: BRETT REEVES (THOMPSON CONSTRUCTION)

Applicant Phone#:

Address: 100 NORTH MAIN STREET

City: SUMTER

State: SC

Zip Code: 29150

**If applicant is different than property owner a *Notarized Letter of Authorization* must be attached to the application*

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process


Signature of Contractor/Authorized Agent

BRETT REEVES
Printed Name

11/4/2019
Application Date

FOR OFFICE USE ONLY

Variance Number#: _____ Fees Due\$: _____

Date was Submitted: 11-4-19 Payment rcvd: _____

Reviewer: _____ Date: _____ Approved Denied

Board Of Adjustments Meeting Date: _____ Approved Denied

Google Maps 4305 31st St



Image capture: Aug 2008 © 2019 Google

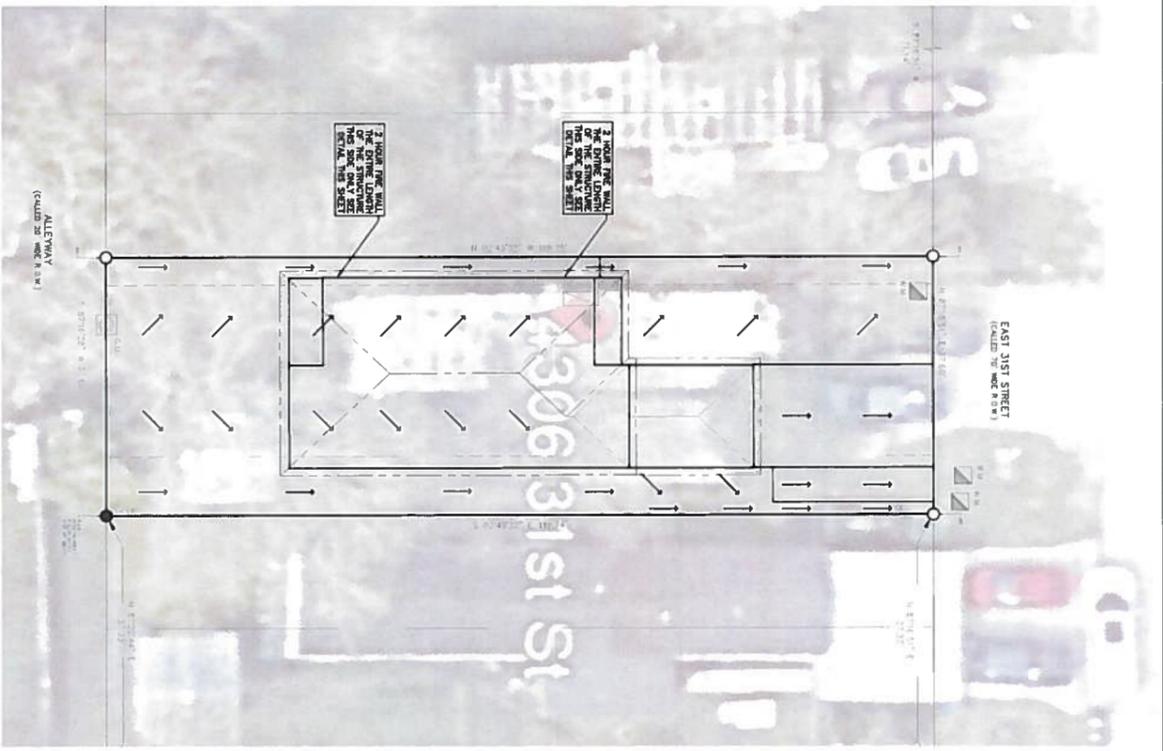
Dickinson, Texas



Street View

4306 31st Street



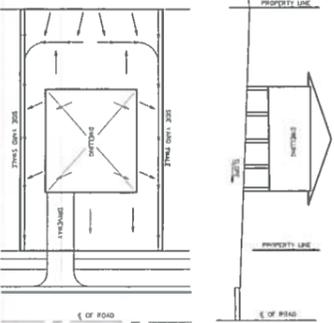


NOTE:
 ↑ ON PLAN INDICATES SLOPE DIRECTION FOR FINAL GRADING. CONTRACTOR SHALL GRADE THE LOT TO PREVENT STANDING WATER.

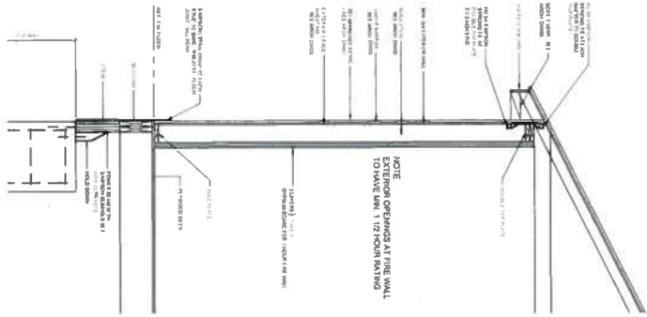
Drainage Plan



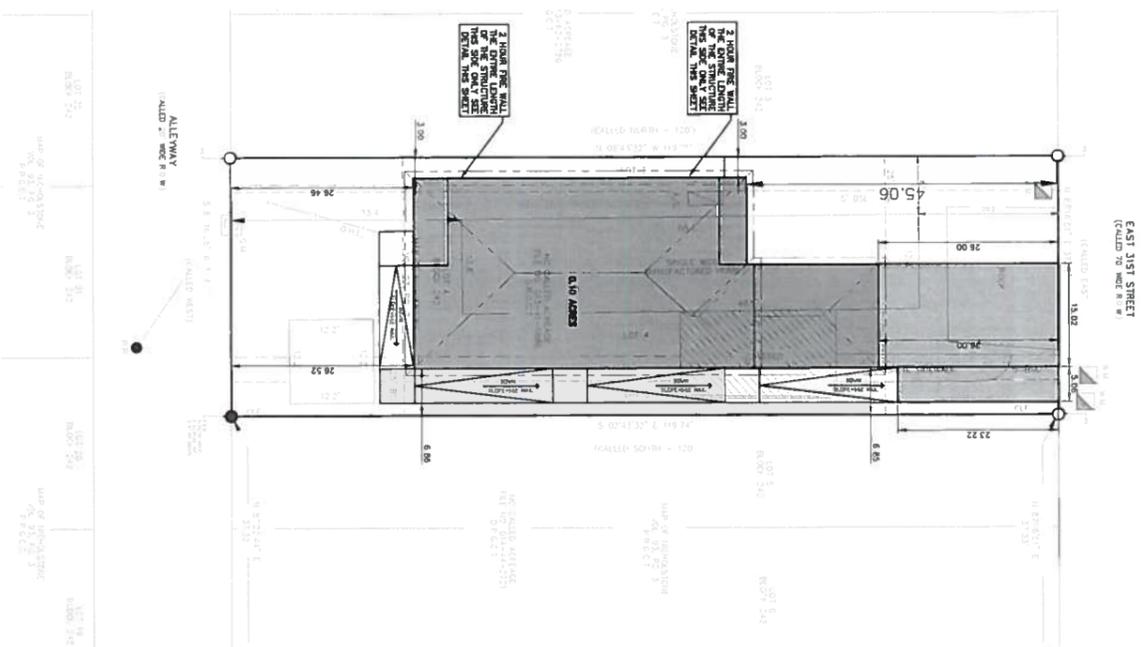
Scale 1" = 10'



LOT GRADING (TYP.)

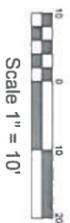


NOTE:
 TO HAVE AN 1 1/2 HOUR RATING



NOTE:
 1) CONTRACTOR SHALL VERIFY APPROVAL OF THE LOCATION OF THE HOUSE ON THE LOT WITH THE OWNER PRIOR TO INSTALLATION OF ANY IMPROVEMENTS.
 2) LENGTH OF RAMP SHOW ON THE DRAWING IS APPROXIMATE. CONTRACTOR SHALL VERIFY ELEVATIONS AND ADJUST THE RAMP LENGTH ACCORDINGLY TO MAINTAIN MINIMUM 1:12 SLOPE.
 3) ALL AREAS DESIGNATED AS ADA ROUTES SHALL HAVE NO MORE THAN 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.

Site Plan



Scale 1" = 10'

OWNERSHIP OF DOCUMENTS
 THE LOCATION AND THE DATE AND DESIGN INCORPORATED HEREIN ARE THE PROPERTY OF FITZ & SHIPMAN, INC. AND NOT TO BE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF FITZ & SHIPMAN, INC.
 © COPYRIGHT 2019 FITZ & SHIPMAN, INC.

IS PROJECT # 19100.0024 DATE Nov 01, 2019 SCALE NOTED DRAWN BY A.L. CHECK BY JMB FS DRAWING NAME 19100.0024_CE SITE	AUGUSTINE PROTOTYPE 4306 31st Street • Dickinson, Texas	Fitz & Shipman INC. Consulting Engineers and Land Surveyors 1405 Cornerstone Court, Beaumont, TX 77706 Ph (409) 832-7238 Fax (409) 832-7303 www.fitzshipman.com T.B.P.E. Firm #1160 T.X.L.S. Firm #100186	TEXAS GENERAL LAND OFFICE	NO. 1 ISSUED FOR INTERIM REVIEW DATE 10/06/2019
				SITE PLAN C1



4306 31st Street

COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Address Affidavit

Section 18-20 #1 requires an affidavit stating the names and addresses of the persons to who notice was sent. This can be accomplished by adding a statement to the bottom of the list of addresses from the Galveston Central Appraisal District.

"I hereby certify notice was sent by certified mail, return receipt requested, to all property owners within 200'." (see attached address list)

Bret Reeves
Signature
Date: 12/30/2019

BRET REEVES
Printed Name

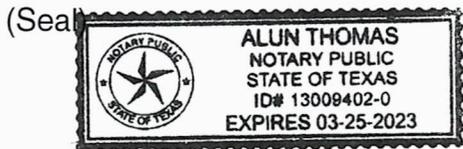
ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Galveston §

BEFORE ME, the undersigned authority, on this day personally appeared Brett Reeves, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

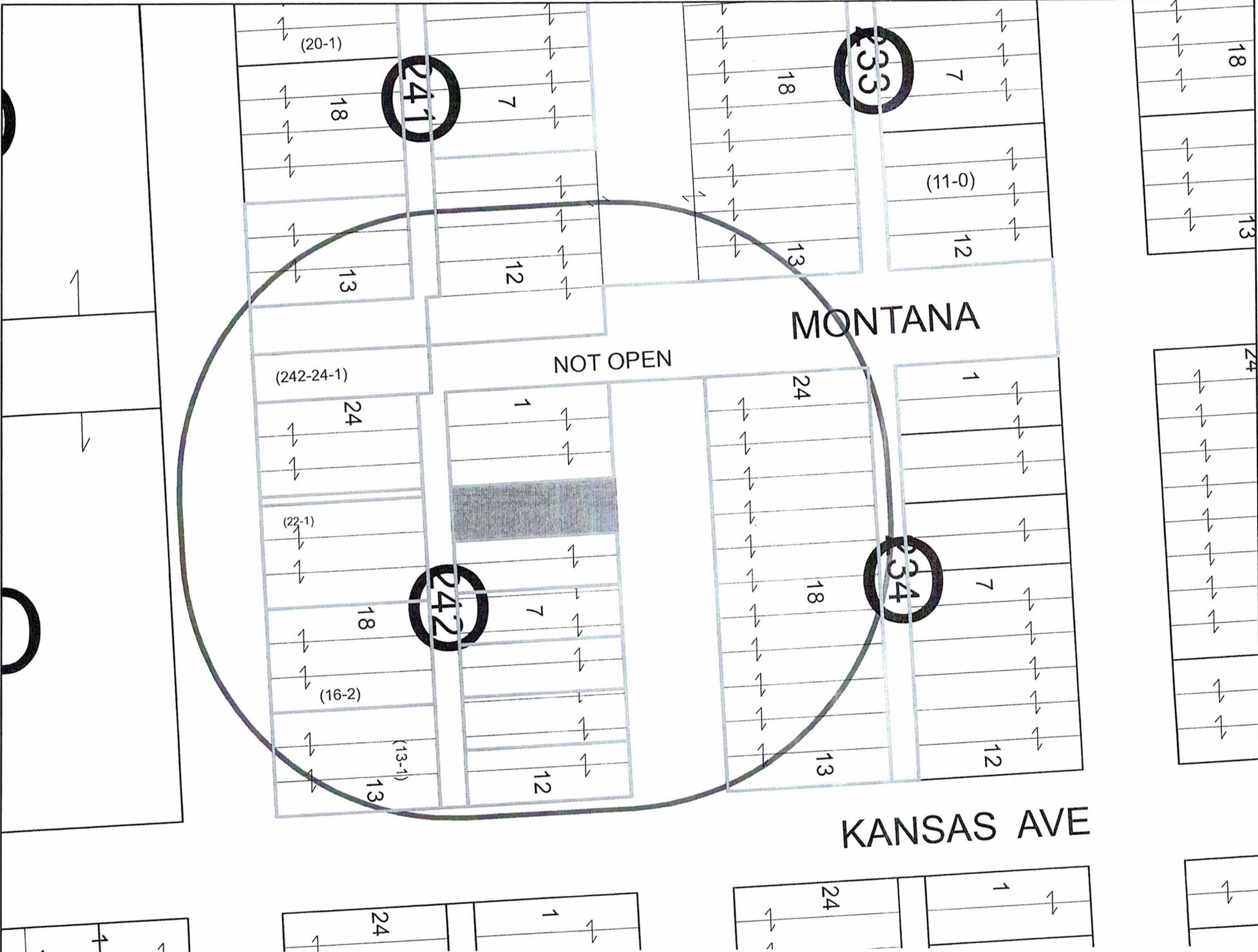
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 20 19.

Alun W. Thomas



Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023



MONTANA

KANSAS AVE

NOT OPEN

241

233

242

234

(20-1)

(11-0)

(242-24-1)

(22-1)

(16-2)

(13-1)

4306E916T.X15X

ADDRESS3	CITY	ST	ZIP	SITUS
	DICKINSON	TX	77539	2722 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4664	2726 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX		2814 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2810 OAK DR DICKINSON, TX 77539
	ROCKWALL	TX	75032	2806 OAK DR DICKINSON, TX 77539
12249 PINE LN	DICKINSON	TX	77539-9219	2717 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4663	2705 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX		2813 OAK DR DICKINSON, TX 77539
2709 WILMINGTON	DICKINSON	TX	77539	2709 WILMINGTON DR DICKINSON, TX 77539
	LEAGUE CITY	TX	77573	2802 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539-4663	2713 WILMINGTON DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2809 OAK DR DICKINSON, TX 77539
	TEXAS CITY	TX	77590	2805 OAK DR DICKINSON, TX 77539
1210 SUNSET DR	DICKINSON	TX	77539-4662	1210 SUNSET DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2801 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2710 OAK DR DICKINSON, TX 77539
1216 SUNSET DR	DICKINSON	TX	77539	1216 SUNSET DR DICKINSON, TX 77539
	DICKINSON	TX		2717 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2706 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2802 WOODLAWN ST DICKINSON, TX 77539
	PEARLAND	TX		2713 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2702 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2718 WOODLAWN ST DICKINSON, TX 77539
	PEARLAND	TX	77564	2709 OAK DR DICKINSON, TX 77539
	DICKINSON	TX	77539	2714 WOODLAWN ST DICKINSON, TX 77539
4119 CROWNWOOD	SEABROOK	TX	77586	2705 OAK DR DICKINSON, TX 77539
	DICKINSON	TX		2701 OAK DR DICKINSON, TX 77539

LEGAL

ABST 19 PERRY & AUSTIN SUR LOT 74 & E 1/2 OF LOT 73 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 72 & W 1/2 OF LOT 73 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 75 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 9 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 8 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 7 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 76 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 79 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 19 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 78 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 6 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 77 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 18 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 17 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 81 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 4 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 16 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 3 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 82 COLONIAL ESTATES
ABST 19 PERRY & AUSTIN SUR LOT 15 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 2 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 26 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 14 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 1 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 25 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 13 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 24 OAK FOREST ADDN
ABST 19 PERRY & AUSTIN SUR LOT 12 OAK FOREST ADDN ***DEFERRAL***
ABST 19 PERRY & AUSTIN SUR LOT 11 OAK FOREST ADDN

LEGAL

ABST 78 R HALL LOTS 13 THRU 15 BLK 241 NICHOLSTONE

ABST 78 R HALL SUR LOTS 23,24 & W 19 FT OF LOT 22 BLK 242 NICHOLSTONE ADDN

ABST 78 R HALL SUR E 6 FT OF LOT 22 (22-1) BLK 242 NICHOLSTONE ADDN

ABST 78 PAGE 4 LOTS 19 THRU 21 BLK 242 NICHOLSTONE ADDN

ABST 78 R HALL SUR PT OF ABND ROAD BTWN BLKS 241 & 242 (24-1) NICHOLSTONE AKA MONTANA

ABST 78 PAGE 4 LOTS 16 THRU 18 (16-2) BLK 242 NICHOLSTONE ADDN, 1970 SCHULT 12X67 WHT/PNK

ABST 78 PAGE 4 LOTS 13 THRU 15 (13-1) BLK 242 NICHOLSTONE ADDN MH PALM HARBOR 1996 18X76 LABEL #PF

ABST 78 R HALL SUR LOTS 1,2,W 21FT OF LOT 3 BLK 242 NICHOLSTONE & MH FLEETWOOD BROADMORE 1982 14:

ABST 78 R HALL SUR E 16.5FT LOT 5 & W 21FT LOT 6 (5-0) BLK 242 NICHOLSTONE MH WAVERLEE 1999 16X76 WH

ABST 78 R HALL SUR E 4FT LOT 6, ALL LOT 7, & W 8.5FT LOT 8 (7-0) BLK 242 NICHOLSTONE MH 1986 BRECK 14X68

ABST 78 R HALL SUR E 16.5FT LOT 8 & E 21.5FT LOT 9 (9-0) BLK 242 NICHOLSTONE

ABST 78 R HALL SUR E 3.5FT LOT 9, ALL LOT 10, & W 9.5FT LOT 11 (10-0) BLK 242 NICHOLSTONE MH 1976 HOLIDAY

ABST 78 R HALL SUR E 15.5FT LOT 11 & ALL LOT 12 (12-0) BLK 242 NICHOLSTONE & MH CHAMPION MANATEE 198

ABST 78 R HALL LOTS 13 THRU 23 & E 20 FT LOT 24 BLK 233 LOTS 9 THRU 12 BLK 241 & ALL ADJ 31ST ST BETWEEN

ABST 78 R HALL LOTS 13 THRU 24 BLK 234 NICHOLSTONE FRANK COMMUNITY MHPK

SITUS

4215 E 32ND ST DICKINSON, TX 77539

4301 E 32ND ST DICKINSON, TX 77539

4305 E 32ND ST DICKINSON, TX 77539

4315 E 32ND ST DICKINSON, TX 77539

4317 E 32ND ST DICKINSON, TX 77539

4302 E 31ST ST DICKINSON, TX 77539

4308 E 31ST ST DICKINSON, TX 77539

4310 E 31ST ST DICKINSON, TX 77539

4312 E 31ST ST DICKINSON, TX 77539

4314 E 31ST ST DICKINSON, TX 77539

4316 E 31ST ST DICKINSON, TX 77539

3019 DICKINSON AVE DICKINSON, TX 77539

4313 E 31ST ST DICKINSON, TX 77539



COMMUNITY DEVELOPMENT
VARIANCE APPLICATION

Sign Affidavit

Section 18-20 #2 requires an affidavit verifying that the sign(s) were posted as required. The sign(s) must be posted at least 10 days before the public hearing.

"I hereby certify that the public hearing signs were posted at 4306 31st Street Dickinson, TX 77539, on 12-26, 2019, which is at least ten (10) days prior to the meeting of the Board of Adjustments at which the variance will be considered, and I understand that such public hearing signs must remain posted until final action on the requested application has been taken by the Dickinson City Council."

S.R. Burgess
Signature
Date: 12-30-19

S.R. Burgess
Printed Name

ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Galveston §

BEFORE ME, the undersigned authority, on this day personally appeared S.R. Burgess, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

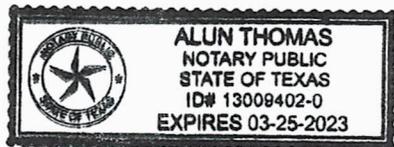
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 30th day of December 2019.

Alun W. Thomas

(Seal)

Notary Public In and For the State of Texas

My Commission Expires: 3-25-2023





VARIANCE

The BOARD of ADJUSTMENTS OF THE City of Dickinson will hold a public hearing to consider a requested use change variance or Specific Use Permit.

Address of requested change:
4308 EAST 91ST DISCIPLIN TEXAS 75123

Hearing time & location: MONDAY JANUARY 04 2020
At 6:00pm, C/A
At City Hall, 4000 South Highway 1, Dickinson, Texas, 75113

A request has been made for:
SOLAR TRACK

12/26/2019 02:38

Notice of Public Hearing

AFFP

PH -- 4306 E. 31st Street

Affidavit of Publication

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200 feet of the property listed below regarding a Zoning Change Application. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal

STATE OF TX }
COUNTY OF GALVESTON } SS

Address of Property:
4306 E. 31st Street, Dickinson, TX. 77539

Donna Rhoades, being duly sworn, says:

Legal Description:
Abst 78 R Hall Sur E 4Ft. of Lot 3, All of Lot 4, & W 8ft. 6in of Lot 5 Blk 242 Nicholstone & MH Titan 1975 14x70 BGE/GRN

That she is Donna Rhoades of the The Galveston County Daily News, a daily newspaper of general circulation, printed and published in Galveston, Galveston County, TX; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

Proposal:
Variance is to the 5 ft. side set back. The variance is to reduce the set back to 3 ft. with a 2 hrs. Fire Rate Wall.

December 21, 2019

Meeting Date:
Monday, January 6th, 2020 At 6:30 p.m.

That said newspaper was regularly issued and circulated on those dates.

Meeting Location:
Council Chambers
4403 Highway 3
Dickinson, TX. 77539

SIGNED:



Donna Rhoades

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, Building Official at 281-337-8833.

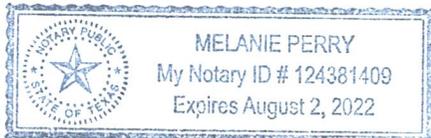
Subscribed to and sworn to me this 21st day of December 2019.

Published: December 21, 2019
00481526



Melanie Perry, Notary Public, State of Texas, Galveston County, TX

My commission expires: August 02, 2022



13103514 00481526

CITY OF DICKINSON
4403 HWY 3
DICKINSON, TX 77539-

Board of Adjustments

ITEM 12

**Dickinson Board of Adjustments
Agenda Item Data Sheet**

MEETING DATE January 6, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: A Variance Request to Section 18-50 of the Zoning Ordinance. The Request is to allow for a variance to the side setback requirements at 4306 East 31st Street, Dickinson, Texas 77539.
BACKGROUND:	In the previous agenda item, the Board of Adjustments conducted a public hearing concerning a variance request from the provisions of Chapter 18 Zoning, Article IV Zoning Districts, Section 18-50.
RECOMMENDATION:	Staff Recommends Approval of the Variance Request
ATTACHMENTS:	• None
SUBMITTING STAFF MEMBER S.R. Burgess, Interim Director of Community Development	

ACTIONS TAKEN		
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	READINGS PASSED <input type="checkbox"/> 1 st <input type="checkbox"/> 2 nd <input type="checkbox"/> 3 rd	OTHER

Board of Adjustments

ITEM 13

Executive Session

Board of Adjustments

ITEM 14

Reconvene

Board of Adjustments

ITEM 15

**Matters Discussed in Executive
Session**

Board of Adjustments

ITEM 16

Adjourn